

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
MAY 27, 2025 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = RED

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION AGENDA

(1) **SP2025-014 (BETHANY ROSS)**

Discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf Dan Bobst of HH Retail Center, LP for the approval of a Site Plan for a *Retail/Office Building* on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2351 Harbor Heights Drive, and take any action necessary.

(2) **SP2025-017 (BETHANY ROSS)**

Discuss and consider a request by Jake Hodges of Kimley-Horn on behalf of Jeff Brockette of Vue Real Estate for the approval of a Site Plan for a *Medical Office Building* on a portion of a 8.969-acre tract of land identified as Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, located at south of the intersection of S. Goliad Street [SH-205] and SH-276, and take any action necessary.

(3) **SP2025-020 (BETHANY ROSS)**

Discuss and consider a request by Cameron Slown of Teague, Nall, and Perkins, Inc. on behalf of Elias Pope for the approval of an Amended Site Plan for a *Restaurant Without a Drive-Through* on a 0.90-acre parcel of land identified as Lot 5, Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32) [Ordinance No. 17-22], situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southeast corner of the intersection of the IH-30 Frontage Road and Sunset Ridge Drive, and take any action necessary.

(4) **SP2025-021 (HENRY LEE)**

Discuss and consider a request by Jared Earney of Kimley-Horn on behalf of Joseph Bickham of Fuel City for a Site Plan for a *Retail Store with Gasoline Sales* on a 4.34-acre tract of land identified as a portion of Tract 3 and all of Tract 4-06 of the N. Butler Survey, Abstract 20, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the northwest corner of the intersection of Airport Road and John King Boulevard, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on May 23, 2025 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 27, 2025
APPLICANT: Jimmy Stohmeyer; *Strohmeier Architects, Inc.*
CASE NUMBER: SP2025-014: *Site Plan for 2351 Harbor Heights Drive*

SUMMARY

Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects, Inc. on behalf Dan Bobst of HH Retail Center, LP for the approval of a Site Plan for a *Retail/Office Building* on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2351 Harbor Heights Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the city on September 5, 1960 by *Ordinance No. 60-02 [Case No. A1960-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the City's historic zoning maps, at some point between September 5, 1960 and January 3, 1972, the zoning changed from an Agricultural (AG) District to a Commercial (C) District. On September 20, 2010, the City Council passed *Ordinance No. 10-21 [Planned Development District 32 (PD-32)]*, which established a concept plan and development standards for the approximate 78.89-acre tract of land commonly referred to as PD-32 or the *Harbor District*. Within the approved concept plan, PD-32 was divided into ten (10) subdistricts that contained individual development and land use standards. On November 17, 2014, the City Council adopted *Ordinance No. 14-51*, which contained a PD Development Plan for a 2.893-acre tract of land located in the *Hillside Subdistrict (i.e. the subject property)*. This PD Development Plan showed a series of buildings would be constructed along Harbor Heights Drive and Sunset Ridge Drive in conformance to the requirements of *Ordinance No. 10-21*. With the approval of *Ordinance No. 14-51*, the City Council also approved waivers to the building placement requirements and pedestrian access requirements to allow retaining walls ranging from seven (7) to nine (9) feet in height to be established along Harbor Heights Drive. The approval of these walls was tied to building elevations submitted by the applicant and which were tied down as a part of the City Council's approval. On May 1, 2017, the City Council adopted *Ordinance No. 17-22*, which amended *Ordinance No. 10-21* to update various exhibits in the ordinance; however, no changes were made to the requirements of the *Hillside Subdistrict* or for the subject property.

On May 15, 2019, the applicant -- *Jimmy Strohmeier of Strohmeier Architects, Inc.* -- submitted an application requesting to amend *Ordinance No. 14-51* to change the PD Development Plan approved for the subject property (*i.e. Case No. Z2019-013*). The new PD Development Plan showed additional buildings being added along Sunset Ridge Drive and a central green space being incorporated adjacent to Harbor Heights Drive. This request was approved on July 1, 2019 by *Ordinance No. 19-25*. On September 10, 2019, the Planning and Zoning Commission approved a site plan [*SP2019-033*] for a retail and restaurant development on the subject property, which included all areas with the exception of the subject property. On May 9, 2023, the Planning and Zoning Commission approved a Site Plan [*SP2023-015*] for a retail and restaurant development on a portion of the subject property. Currently existing on the subject property are three (3) buildings; a 5,530 SF *restaurant*, a 5,000 SF *restaurant*, and a 17,204 SF *office/retail* building.

PURPOSE

The applicant -- *Jimmy Strohmeier of Strohmeier Architects, Inc.* -- is requesting the approval of a Site Plan for a *Restaurant with 2,000 SF or more without Drive-Through or Drive-in* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 2351 Harbor Heights Drive. The land uses adjacent to the subject property are as follows:

- North:** Directly north of the subject property is the eastbound frontage road for IH-30, followed by the main lanes of IH-30, and the westbound frontage road for IH-30. IH-30 is identified as a TXDOT 6D (*i.e. Texas Department of Transportation, six (6) lane, principal arterial roadway*).
- South:** Directly south of the subject property is Harbor Heights Drive, which is classified as a *Street Type 'D'* according to Planned Development District 32 (PD-32) [Ordinance No. 17-22] which is defined as "...a primary connector to the existing harbor development with adjacent subdistricts". Beyond this is a 6.1978-acre tract of land owned by the City of Rockwall, and which currently has a parking lot that serves the greater *Harbor District*. This property is zoned Planned Development District 32 (PD-32) and is located within the *Hillside Mixed-Use Subdistrict*.
- East:** Directly east of the subject property is Sunset Ridge Drive, which is identified as a *Street Type 'B' and 'E'* according to Planned Development District 32 (PD-32) [Ordinance No. 17-22]. East of this roadway is a 0.900-acre parcel of land (*i.e. lot 5, block A, Harbor District Addition*), which is currently vacant but was approved for a site plan on April 13, 2021 (SP2021-005) and again on February 25, 2025 (SP2025-005) for a restaurant on the subject property. This property is zoned Planned Development District 32 (PD-32) and is located within the *Summit Mixed-Use Subdistrict*.
- West:** Directly west of the subject property is a 0.2930-acre tract of land (*i.e. Tract 17, of the M.J. Barksdale Survey, Abstract No. 11*) zoned Planned Development District 32 (PD-32) and is located within the *Hillside Subdistrict*. Beyond this is a restaurant (*i.e. Culpepper Steakhouse*), which is situated on a 1.40-acre parcel of land that is located within the *Hillside Subdistrict*. Beyond this is Shoreline Trail, which is identified as a *Street Type 'A'* according to Planned Development District 32 (PD-32) [Ordinance No. 17-22], which is defined as "...a primary entry in to the Harbor District from the Eastbound Interstate 30 off ramp." Beyond this is a restaurant (*i.e. the Oar House*), which is situated on a 0.65-acre parcel of land that is located within the *Freeway Frontage Subdistrict*.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to *Exhibit D, Subdistrict Land Use Chart*, of Planned Development District 32 (PD-32) [Ordinance No. 10-21], a *Restaurant with 2,000 SF or more without Drive-Through or Drive-In* is permitted *by-right* within the *Hillside Subdistrict* of Planned Development District 32 (PD-32). With the exception of the variances being requested, the submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the *PD Development Plan* approved with Ordinance No. 19-25, the design guidelines contained in *Resolution No. 10-40*, the technical requirements contained within Ordinance No. 17-22, and the UDC for a property located within the *Hillside Subdistrict* of Planned Development District 32 (PD-32). A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Build-To-Line (Distance from ROW Line)</i>	8' (Harbor Heights Drive) 4' (Sunset Ridge Drive)	Approved Per Ord. 19-25; In Conformance
<i>Minimum Setback from ROW</i>	250' (IH-30 Frontage Road) 5' (Harbor Heights & Sunset Ridge)	Approved Per Ord. 19-25; In Conformance
<i>Minimum Building Façade along ROW</i>	85% (Harbor Heights) 100% (Harbor Heights & Sunset Ridge)	Approved Per Ord. 19-25; In Conformance
<i>Maximum Lot Coverage</i>	30%	27.9%; In Conformance
<i>Maximum Building Height</i>	2 Stories or 35'	X=22'; In Conformance
<i>Surface Parking Setbacks</i>	10'	X>10'; In Conformance
<i>Surface Parking</i>	100% ¹	100%; In Conformance
<i>Minimum Pedestrian Ways</i>	2	2; In Conformance
<i>Minimum Stone Requirement</i>	20%	X>20%; In Conformance

NOTES:

¹: PARKING WAS ESTABLISHED THROUGH THE APPROVAL OF THE SITE PLAN [SP2019-033], THE DEVELOPER PROVIDED A SHARED PARKING CALCULATION FOR RETAIL, RESTAURANT, AND OFFICE PARKING.

CONFORMANCE WITH THE CITY'S CODES

Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], provides flexibility in order to create high quality projects for the *Harbor District*. Non-residentially zoned projects are to generally conform to the Commercial (C) District standards. In this case, the subject property is located in the *Hillside Subdistrict* and is within the IH-30 Overlay (IH-30 OV) District, which is more restrictive than the *Design Guidelines* [*Resolution No. 10-40*] required by PD-32. With this being said, the standards of the IH-30 OV (*i.e. Subsection 06.02, Art. 05, UDC*) shall apply to the development of the subject property. The *Hillside Subdistrict* is intended to provide a cluster of restaurant anchors that contribute to the creation of a vibrant, pedestrian oriented character within the *Harbor District*. This district also takes advantage of existing slopes, which adds to the characteristics of the *Hillside Subdistrict*. In this case, the applicant's proposal is adjacent to the IH-30 Frontage Road and is accessible from Sunset Ridge Drive. Additionally, by virtue of being in Planned Development District 32 (PD-32) and generally conforming to *Ordinance No. 19-25*, the proposed site plan appears to be in conformance to the majority of the requirements intended for properties within the *Hillside Subdistrict*.

VARIANCES BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance:

Variances:

- (1) Primary Building Facades. According to Subsection 04.01(C)(1) of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) primary building façade is any building façade that has a primary entryway for a business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residentially used property." In this case the PD Development Plan recorded in *Ordinance No. 19-25* also states that, "(a)ll buildings throughout the development shall be constructed with a consistent design scheme, incorporate four (4) sided architecture that creates a dual entry appearance". The applicant is required to meet the building articulation standards for the primary building façade on all sides of the building. Given the proposed building elevations, the applicant does not meet the wall projection requirements. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (2) Roof Design Standards. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish to avoid glare. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent public right-of-way shall be prohibited." In this case, the proposed building does not meet this standard; however, this is not atypical for buildings situated within the IH-30 corridor, and the proposed building matches the existing development on the remainder of the subject property. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (3) Parking Requirements. According to Subsection 03.03 (B), *Joint Use of Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), (p)arking adjustments may be allowed according to the following percentages by time of day:

TABLE 1: JOINT USE OF PARKING CALCULATIONS

TIME OF DAY	OFFICE	RETAIL	RESTAURANT	THEATER	HOTEL
6:00 AM - 12:00 PM	1.00	0.97	0.50	0.30	1.00
12:00 PM - 1:00PM	0.90	1.00	0.70	0.70	0.30
1:00 PM - 4:00 PM	0.97	0.97	0.60	0.70	0.45
4:00 PM - 6:00 PM	0.47	0.82	0.90	0.80	0.70
6:00 PM - 8:00 PM	0.07	0.89	1.00	1.00	1.00
8:00 PM - 12:00 AM	0.03	0.61	1.00	1.00	1.00

Staff has provided a shared parking requirement table in the attached packet that outlines the required parking for the development based on the current and proposed land uses. In this case, the applicant is required 186 parking spaces at peak time; however, the applicant has only provided 142 parking spaces throughout the development. The original zoning request allocated 19 city parking spaces from the *Trend Tower Parking Garage* for the development. With these parking spaces, the development is still deficient 25 parking spaces. To remedy this deficiency, the applicant has indicated that they will be providing a stairwell to the City of Rockwall parking lot on a 6.1978-acre tract of land which serves the greater *Harbor District* as depicted on the proposed Site Plan. Staff should point out that the proposed stairwell will have benefit to not just the subject property, but also the surrounding properties and appears to be a good compensatory measure to account for the parking deficiency.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant exceptions and variances to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that applicants provide compensatory measures that directly offset the requested exceptions and variances. In this case, as compensatory measures, the applicant is proposing: [1] to construct a stairway down to the City of Rockwall parking lot south of the development, [2] to construct a sidewalk and curb ramps along the city parking lot, and [3] provide additional landscaping. Requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

By virtue of being in Planned Development District 32 (PD-32), generally conforming to *Ordinance No. 17-22* and the approved PD Development Plan (i.e. *Ordinance No. 19-25*), the proposed site plan conforms to the majority of the district strategies intended for properties in the *Harbor District* as stipulated by the *Land Use Plan* outlined in the *OURHometown Vision 2040 Comprehensive Plan*.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On April 29, 2025, the Architecture Review Board (ARB) reviewed the proposed building elevations provided by the applicant on April 17, 2025 and recommended that the applicant provide an awning on the west elevation and provide a similar rust colored brick to other buildings on the subject property. The applicant has provided updated elevations that will be reviewed by the Architectural Review Board (ARB) prior to the May 13, 2025 Planning and Zoning Commission meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of a *Restaurant with 2,000 SF or more without Drive-Through or Drive-in* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The proposed stairwell, ramps, and sidewalk will be required to be constructed prior to a Certificate of Occupancy being issued for the proposed building on the subject property.

- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2600 SUNSET RIDGE

SUBDIVISION HARBOR DISTRICT ADDITION

LOT 2 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE RESTAURANT/RETAIL/OFFICE

PROPOSED ZONING PD-32

PROPOSED USE RESTAURANT/RETAIL/OFFICE

ACREAGE 2.893 ACRES

LOTS [CURRENT]

2

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER HH RETAIL CENTER, LP

APPLICANT STROHMEYER ARCHITECTS INC.

CONTACT PERSON DAN BOBST

CONTACT PERSON JIMMY STROHMEYER

ADDRESS 2701 SUNSET RIDGE., STE 610

ADDRESS 2701 SUNSET RIDGE., STE 601

CITY, STATE & ZIP ROCKWALL, TX, 75032

CITY, STATE & ZIP ROCKWALL, TX, 75032

PHONE 214-553-5505

PHONE 214-497-2057

E-MAIL DWBOBST@TRENDHR.COM

E-MAIL JIMMY@STROHMEYERARCHITECTS.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Daniel W Bobst [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

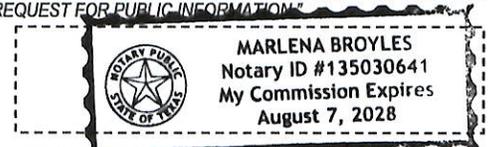
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 307.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF April, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF April, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Daniel W Bobst
M. Broyles

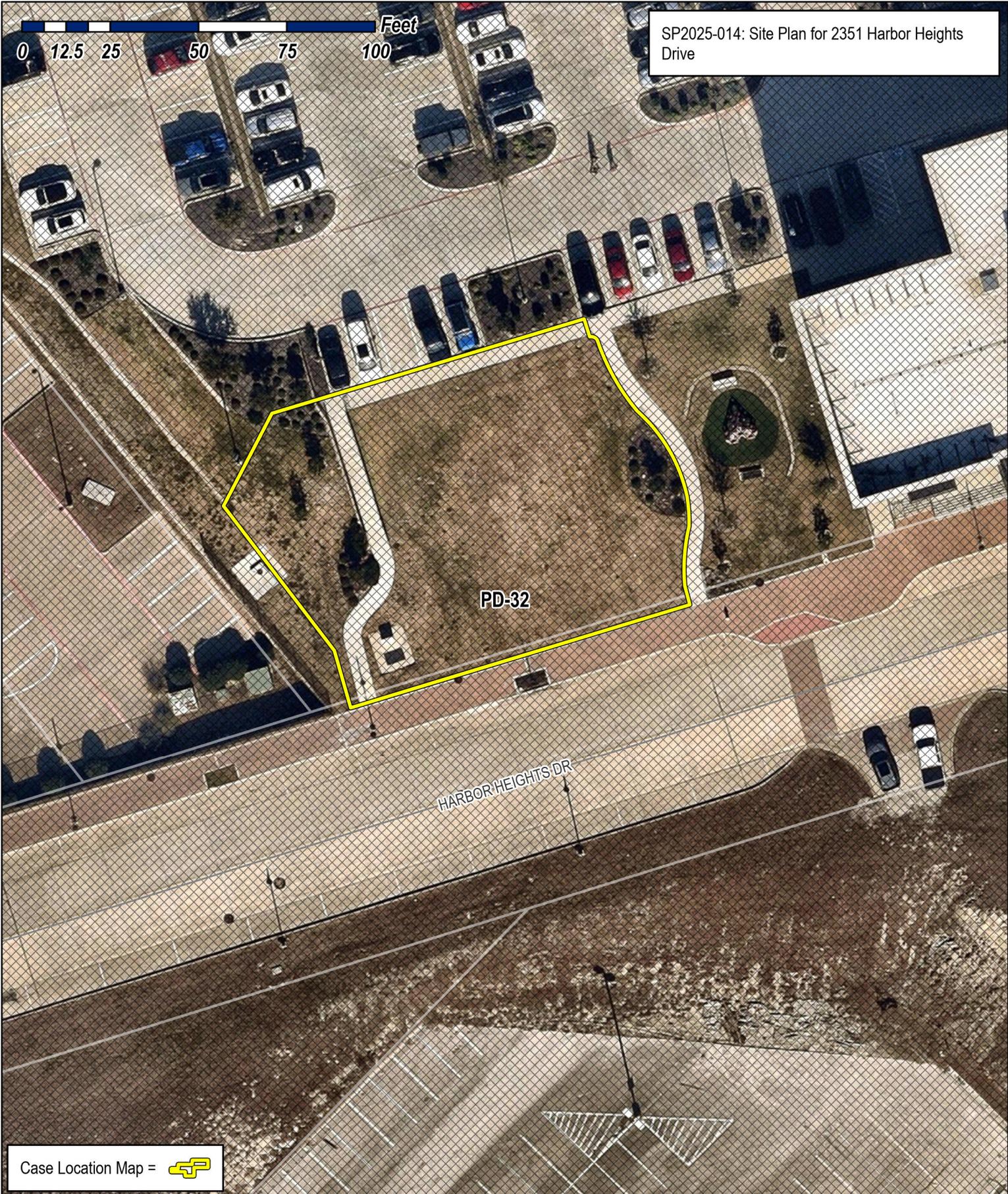


MY COMMISSION EXPIRES

8/7/28

0 12.5 25 50 75 100 Feet

SP2025-014: Site Plan for 2351 Harbor Heights Drive



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

HARBOR HEIGHTS BLDG. #4

2351 HARBOR
HEIGHTS DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.20.2025
Drawn: PC
Checked: JS
Scale: As indicated

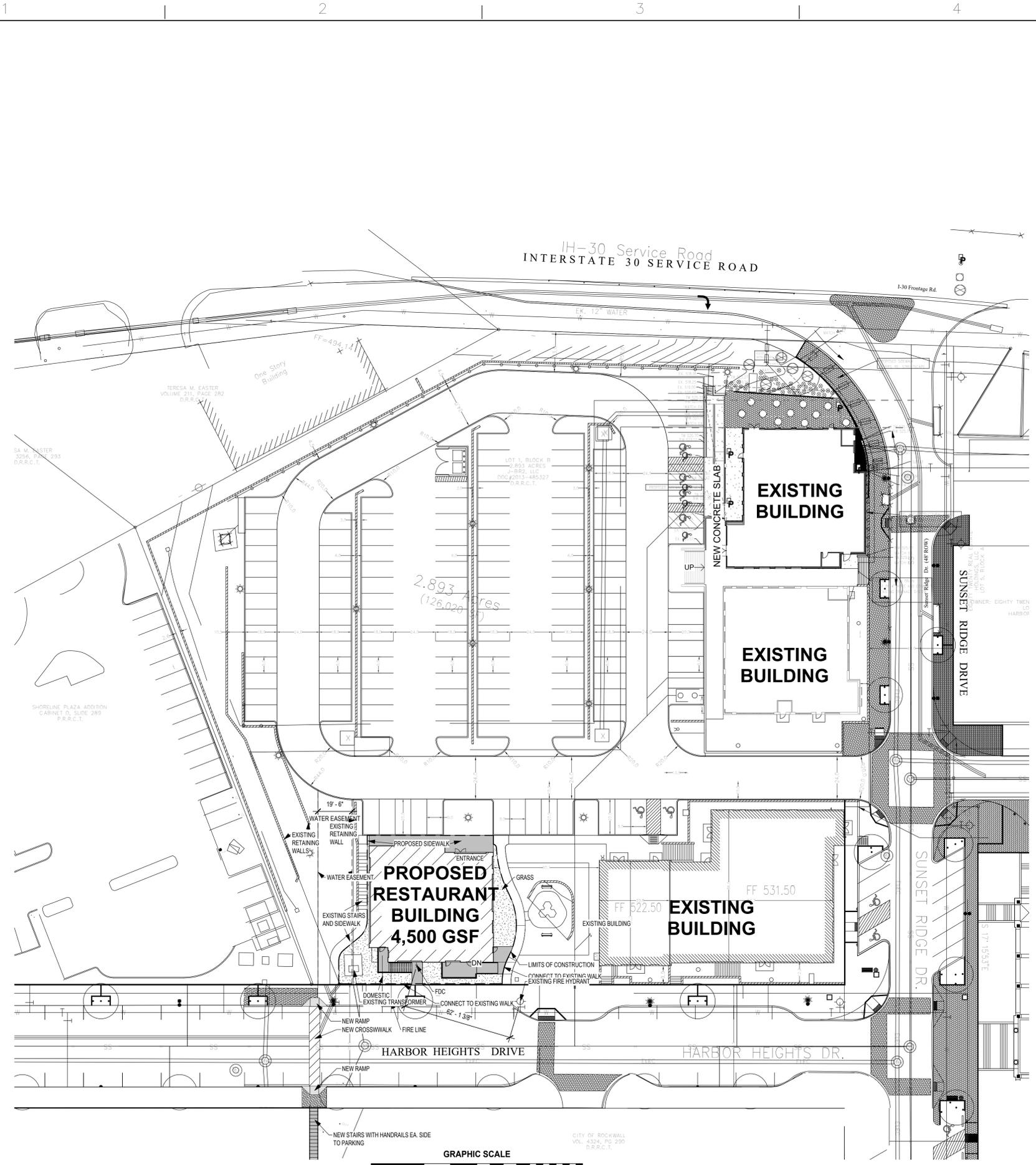
© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description

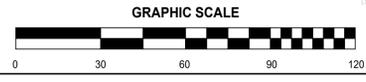
Sheet Title:

OVERALL SITE PLAN



1 OVERALL SITE PLAN

1" = 30'-0"



OWNER INFORMATION:
HH RETAIL CENTER, LP
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

LEGAL DESCRIPTION:
LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 202000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS, BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

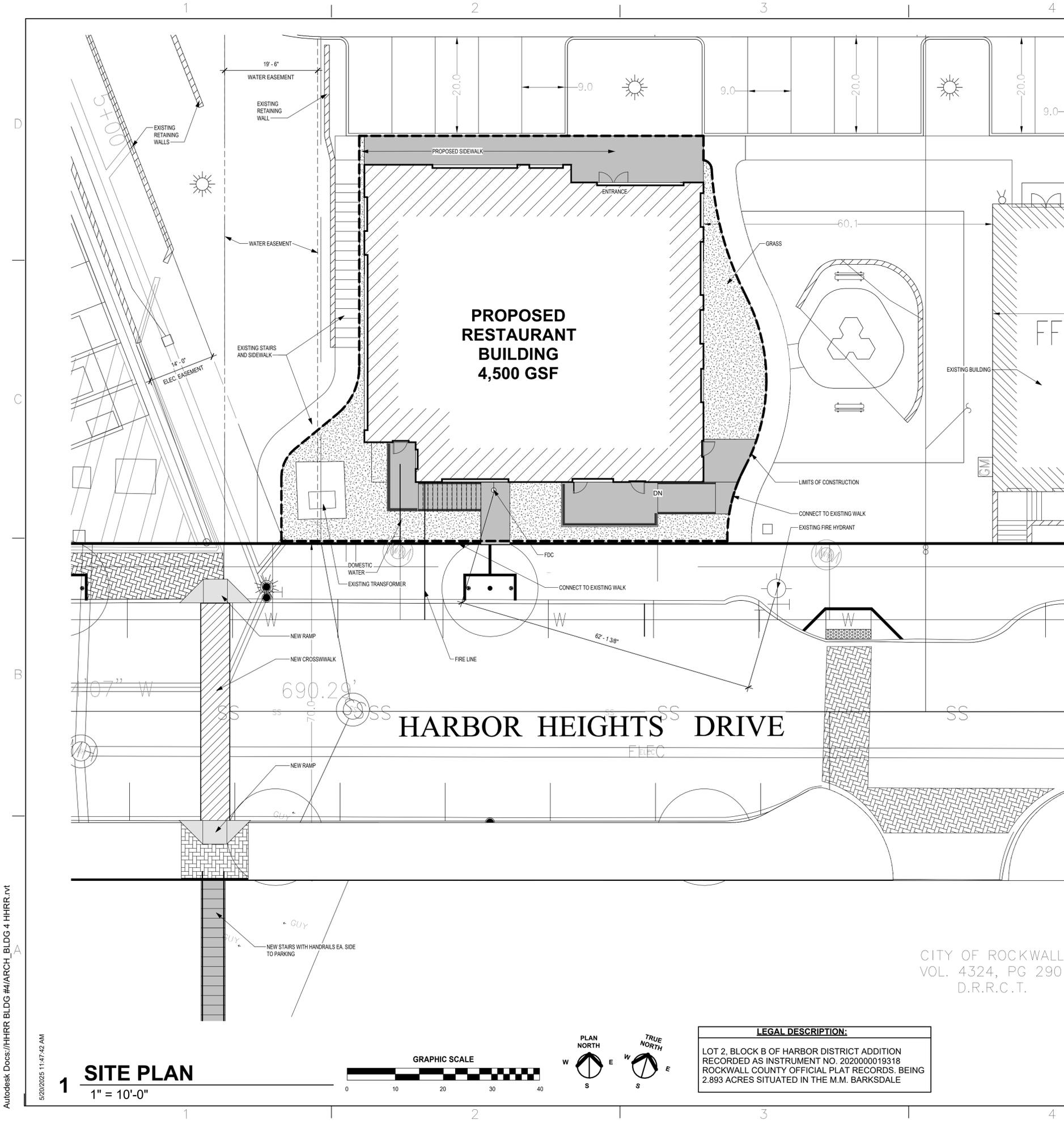
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

A100

Autodesk Docs//HHRR BLDG #4/ARCH_BLDG 4_HHRR.rvt

5/20/2025 11:47:38 AM



SITE INFORMATION

LAND AREA: 2.893 ACRES (126,018.45 S.F.)
 CURRENT ZONING: PD-32
 EXISTING USE: RESTAURANT/RETAIL/OFFICE
 PROPOSED USE: RESTAURANT/RETAIL/OFFICE
 BUILDING AREA: 15,030 S.F. RESTAURANT
 12,600 S.F. OFFICE
 7,600 S.F. RETAIL

BUILDING TO LOT COVERAGE: 35,230 / 126,018 = .279 → 27.9%
 BUILDING HEIGHT: VARIABLE (25-35 FEET)
 *BUILDING REQUIRED PARKING: 192 SPACES (SEE BREAKDOWN BELOW)
 BUILDING PARKING PROVIDED: 161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
 REQUESTING 31 CITY ADJACENT SPACES 31
 TOTAL PROVIDED 192

IMPERVIOUS AREA: 80,954 S.F.
 LANDSCAPE AREA REQUIRED: 0 S.F.
 LANDSCAPE AREA PROVIDED: 45,064 S.F. (1.035 ACRES)

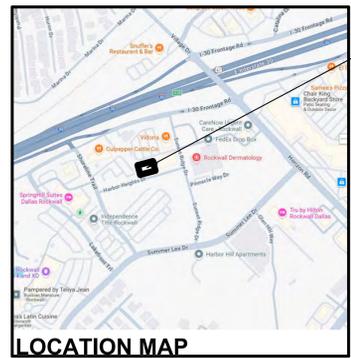
* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQ'D
12PM-1PM	37.80	46.40	108	192
4PM-6PM	19.74	41.76	130	192

- SITE NOTES:**
- PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
 - DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED

LEGEND:

	PROPOSED CONCRETE SIDEWALK		EXISTING AT&T MANHOLE
	GRASS		EXISTING WATER METER
	WOOD DECK		EXISTING ELECTRICAL MANHOLE
	EXISTING TREE WELL W/ UPLIGHTS		EXISTING SEWER MANHOLE
	EXISTING SEWER LINE		EXISTING POWER POLE
	EXISTING WATER LINE		EXISTING LIGHT POLE
	EXISTING GAS LINE		EXISTING FIRE HYDRANT
	EXISTING TELEPHONE DUCT BANK		
	EXISTING ELECTRICAL DUCT BANK		



PROJECT LOCATION

OWNER INFORMATION:
 HH RETAIL CENTER, LP.
 2701 SUNSET RIDGE DRIVE
 ROCKWALL, TX 75032



ARCHITECT
 STROHMEYER ARCHITECTS, INC.
 2701 SUNSET RIDGE DR.
 SUITE 601
 ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

NOT FOR CONSTRUCTION PERMITTING OR REGULATORY APPROVAL

HARBOR HEIGHTS BLDG. #4

2351 HARBOR HEIGHTS DR.
 ROCKWALL, TX 75032
 LOT 2, BLOCK B

Project Number: 52411
 Drawing Date: 4.20.2025
 Drawn: PC
 Checked: JS
 Scale: As indicated

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Revisions:

#	Revision Date	Revision Description

Sheet Title:
SITE PLAN

SP2025-014

A101

LEGAL DESCRIPTION:
 LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
 RECORDED AS INSTRUMENT NO. 2020000019318
 ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING
 2.893 ACRES SITUATED IN THE M.M. BARKSDALE

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

Autodesk Docs//HRRR BLDG #4/ARCH_BLDG 4_HHRR.rvt

5/20/2025 11:47:42 AM

1 SITE PLAN

1" = 10'-0"

GRAPHIC SCALE

PLAN NORTH

TRUE NORTH

CITY OF ROCKWALL
 VOL. 4324, PG 290
 D.R.R.C.T.



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA
FOR SITE PLAN
APPROVAL ONLY

**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

HARBOR HEIGHTS BLDG. #4

2351 HARBOR
HEIGHTS DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.20.2025
Drawn: PC
Checked: JS
Scale: As indicated

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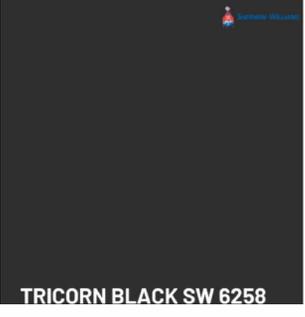
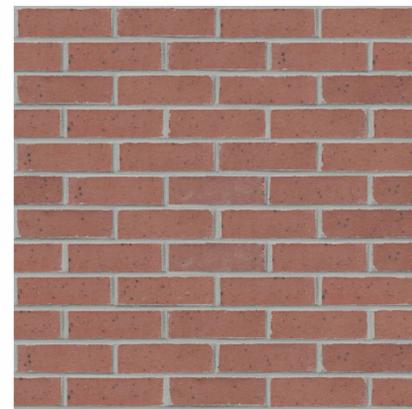
#	Revision Date	Revision Description

Sheet Title:

**EXTERIOR
ELEVATIONS**

SP2025-014

A400



NATURAL STONE VENEER

BRICK VENEER

133 Driftwood
RGB 158 161 164

152 Anthracite Coal
RGB 85 85 86

TRICORN BLACK SW 6258

3 PART STUCCO
CAP 133 DRIFTWOOD

3 PART STUCCO
152 ANTHRACITE COAL

METAL CANOPY -
PAINT SW 6258
TRICORN BLACK

NATURAL STONE VENEER
LEDGESTONE - MATCH ADJACENT
BUILDINGS

BRICK VENEER -
ACME CANYON
BROWN - KING SIZE

T.O.P.
22'-0"

ROOF MOUNTED RTU EQUIPMENT

F.F. ELEV. LEVEL 1
0'-0"

2 WEST ELEVATION

3/16" = 1'-0"

MATERIALS:

ROOFING: TPO WHITE
 BRICK VENEER: ACME CANYON BROWN - KING SIZE
 NATURAL STONE VENEER: LEDGESTONE - MATCH EXIST.
 STUCCO CAP: 3 PART STUCCO - COLOR 133 DRIFTWOOD
 STUCCO WALL: 3 PART STUCCO - COLOR 152 ANTHRACITE COAL.
 METAL AWNING: PAINT SW 6258 TRICORN BLACK

ALL RTU'S SHALL BE
SCREENED BY PARAPET
OR ROOFTOP SCREEN.

BACK SIDE OF PARAPET -
FINISH - 3 PART STUCCO
152 ANTHRACITE COAL. OR
BRICK VENEER TO MATCH
EXTERIOR FINISH, WHERE
VISIBLE FROM ADJ.
PROPERTY / RIGHT OF
WAY.

3 PART STUCCO CAP
133 DRIFTWOOD

ROOF MOUNTED EQUIPMENT

METAL CANOPY -
PAINT SW 6258
TRICORN BLACK

3 PART STUCCO
152 ANTHRACITE COAL

BRICK VENEER -
ACME CANYON
BROWN - KING SIZE

NATURAL STONE VENEER
LEDGESTONE - MATCH ADJACENT
BUILDINGS

T.O.P.
22'-0"

F.F. ELEV. LEVEL 1
0'-0"

OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ALL RETAINING WALLS SHALL MATCH EXISTING

1 SOUTH ELEVATION

3/16" = 1'-0"

Autodesk Docs://HRRR BLDG #4/ARCH_BLDG 4_HHRR.rvt
5/22/2025 10:51:53 AM



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA
FOR SITE PLAN
APPROVAL ONLY

**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

HARBOR HEIGHTS BLDG. #4

2351 HARBOR
HEIGHTS DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.20.2025
Drawn: Author
Checked: Checker
Scale: As indicated

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#	Revision Date	Revision Description

Sheet Title:

**EXTERIOR
ELEVATIONS**

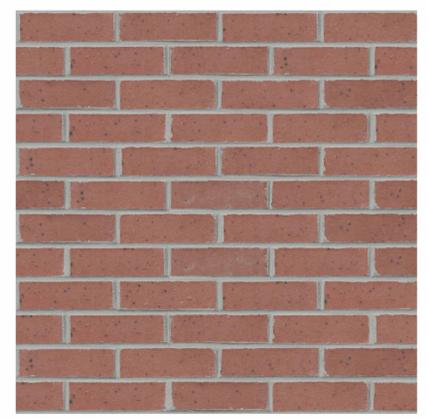
SP2025-014

A401

MATERIALS:
ROOFING: TPO WHITE
BRICK VENEER: ACME CANYON BROWN - KING SIZE
NATURAL STONE VENEER: LEDGESTONE - MATCH EXIST.
STUCCO CAP: 3 PART STUCCO - COLOR 133 DRIFTWOOD
STUCCO WALL: 3 PART STUCCO - COLOR 152 ANTHRACITE COAL.
METAL AWNING: PAINT SW 6258 TRICORN BLACK



NATURAL STONE VENEER



BRICK VENEER



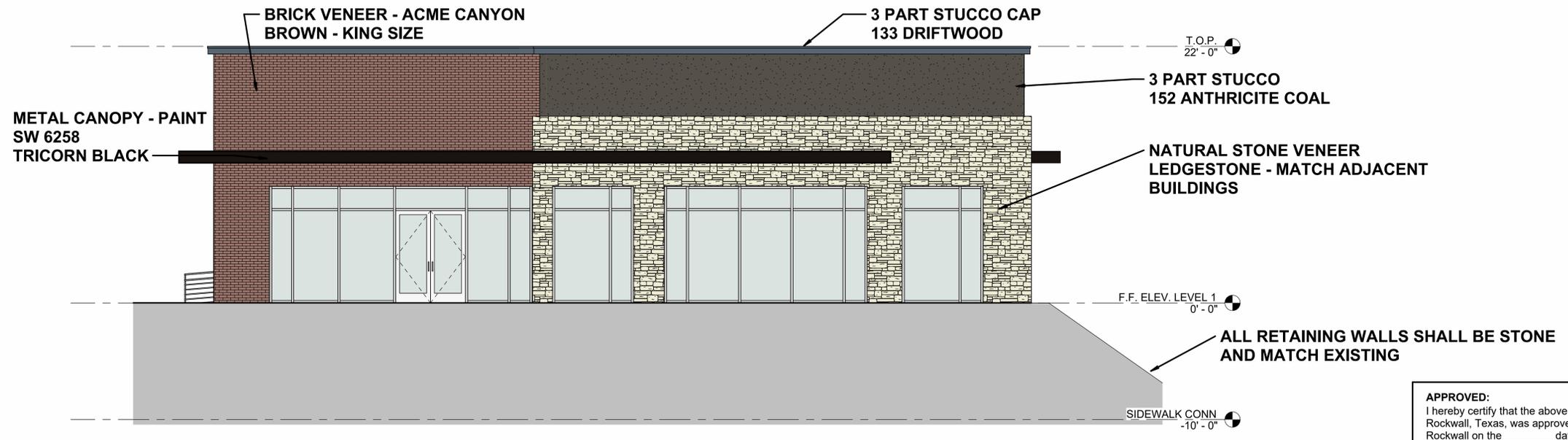
133 Driftwood
RGB 158 161 164



152 Anthracite Coal
RGB 85 85 86



TRICORN BLACK SW 6258



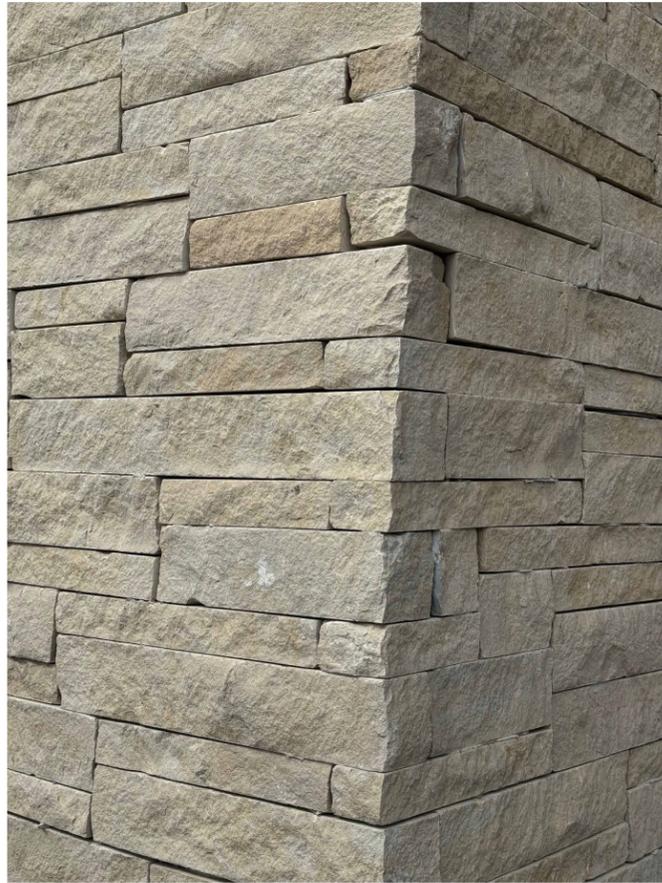
BACK SIDE OF PARAPET - FINISH - 3 PART STUCCO 152 ANTHRACITE COAL. OR BRICK VENEER TO MATCH EXTERIOR FINISH, WHERE VISIBLE FROM ADJ. PROPERTY / RIGHT OF WAY.

ALL RTU'S SHALL BE SCREENED BY PARAPET OR ROOFTOP SCREEN.

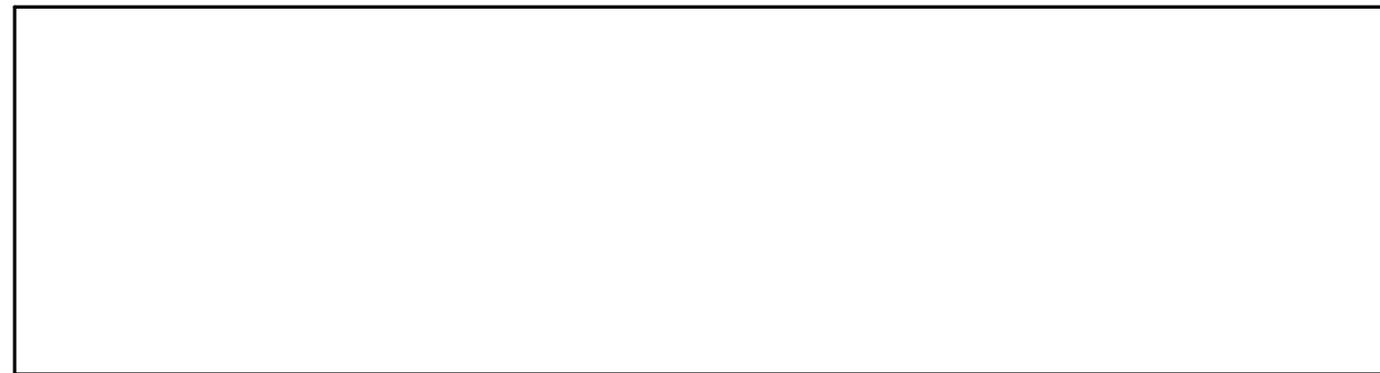
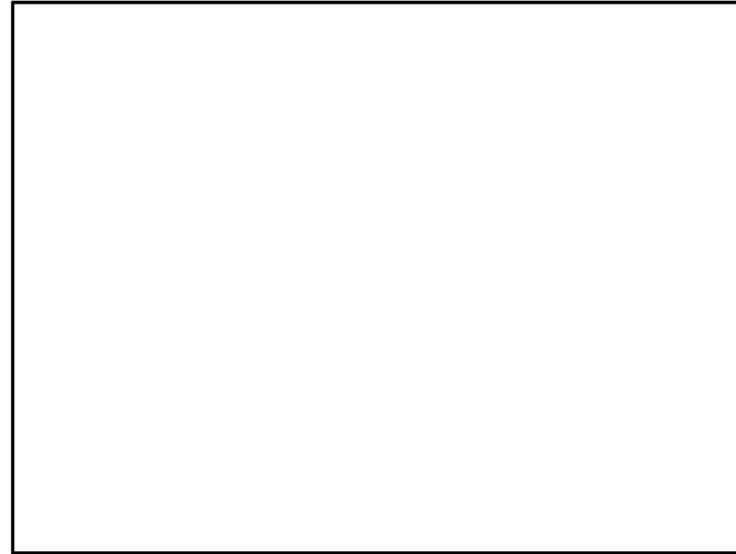
OWNER INFORMATION:
HH RETAIL CENTER, LP
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.
WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

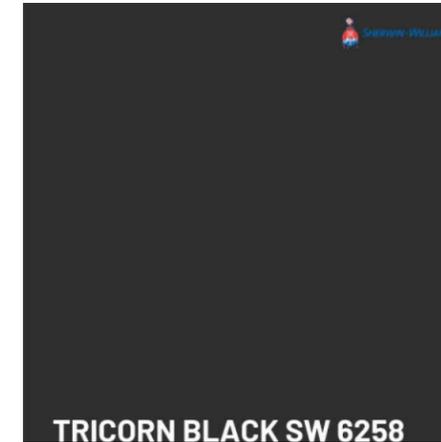


NATURAL STONE VENEER

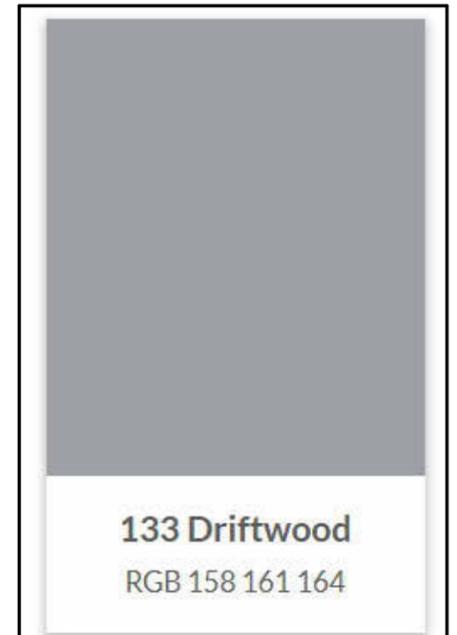


BRICK VENEER

HARBOR HEIGHTS BLDG. #4



METAL AWNING



3 PART STUCCO



LEGEND

QTY	P	STONEWARE GRECIAN SERIES - EQUAL PLANTING BOX
4		
		SHRUB
		DWARF YAUPON HOLLY 5 GAL. 16" O.C. MAX, 16" HIGH AT TIME OF PLANTING
42		DWARF BURFORD HOLLY 5 GAL. 38" O.C. MAX, 30" HIGH AT TIME OF PLANTING
		CANOPY TREE
		LIVE OAK "LC" 100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 8 FT.
3		CEDAR ELM "CA" 100 GAL, 4.0"-4.5" CAL 12-14 FT. HIGH, CLEAR TRUNK TO 8 FT.



PLANTER POT EXAMPLE



ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA
FOR SITE PLAN
APPROVAL ONLY
**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

**HARBOR
HEIGHTS
BLDG. #4**

2351 HARBOR
HEIGHTS DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.20.2025
Drawn: PC
Checked: JS
Scale: As indicated

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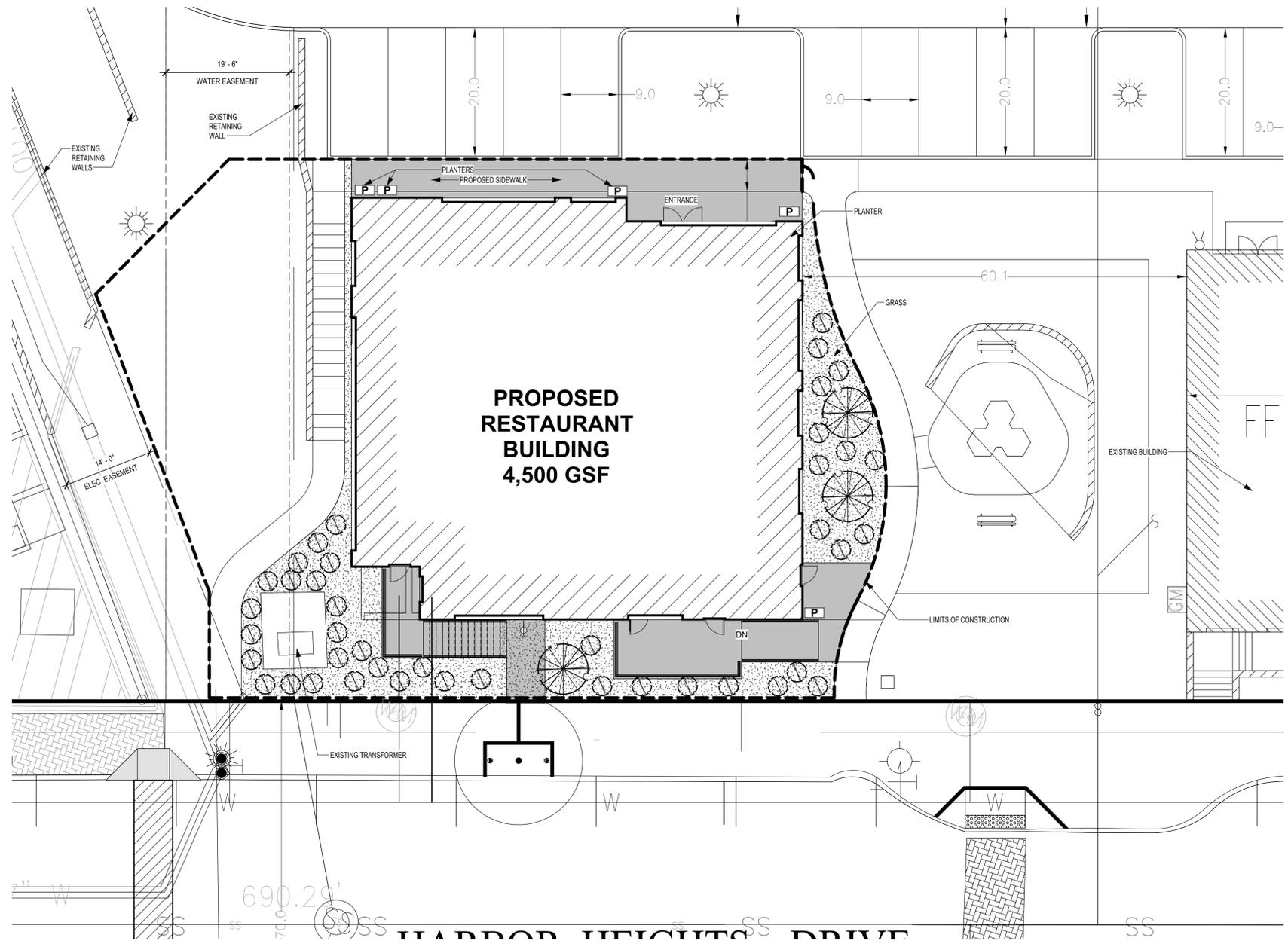
Revisions:

#	Revision Date	Revision Description

Sheet Title:
LANDSCAPE PLAN

SP2025-014

A102



SITE INFORMATION

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	15,030 S.F. RESTAURANT 12,600 S.F. OFFICE 7,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	35,230 / 126,018 = .279 → 27.9%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	192 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
REQUESTING 31 CITY ADJACENT SPACES	31
IMPERVIOUS AREA:	TOTAL PROVIDED 192
LANDSCAPE AREA REQUIRED:	80,954 S.F.
LANDSCAPE AREA PROVIDED:	0 S.F. 45,064 S.F. (1.035 ACRES)

(A) General Irrigation Requirements.
The owner shall be responsible for the health and vitality of plant material through the irrigation of all landscaped areas, turf and plant materials, and shall:
(1) Provide a moisture level in an amount and frequency adequate to sustain growth of the plant materials on a permanent basis.
(2) Be in place and operational at the time of the landscape inspection for Certificate of Occupancy (CO).
(3) Be maintained and kept operational at all times to provide for efficient water distribution.

LANDSCAPING NOTE:
TREES SHALL BE MIN. 5'-0" FROM ALL UNDERGROUND EXISTING OR PROPOSED UTILITY LINES 10" OR SMALLER & 10'-0" AWAY FROM LINES 12" OR GREATER.

OWNER INFORMATION:
HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.
WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

LEGAL DESCRIPTION:
LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE



LANDSCAPE PLAN
1" = 10'-0"

Autodesk Docs//HRRR BLDG #4/ARCH_BLDG 4_HHRR.rvt 5/20/2025 11:47:48 AM

1 2 3 4 5 6

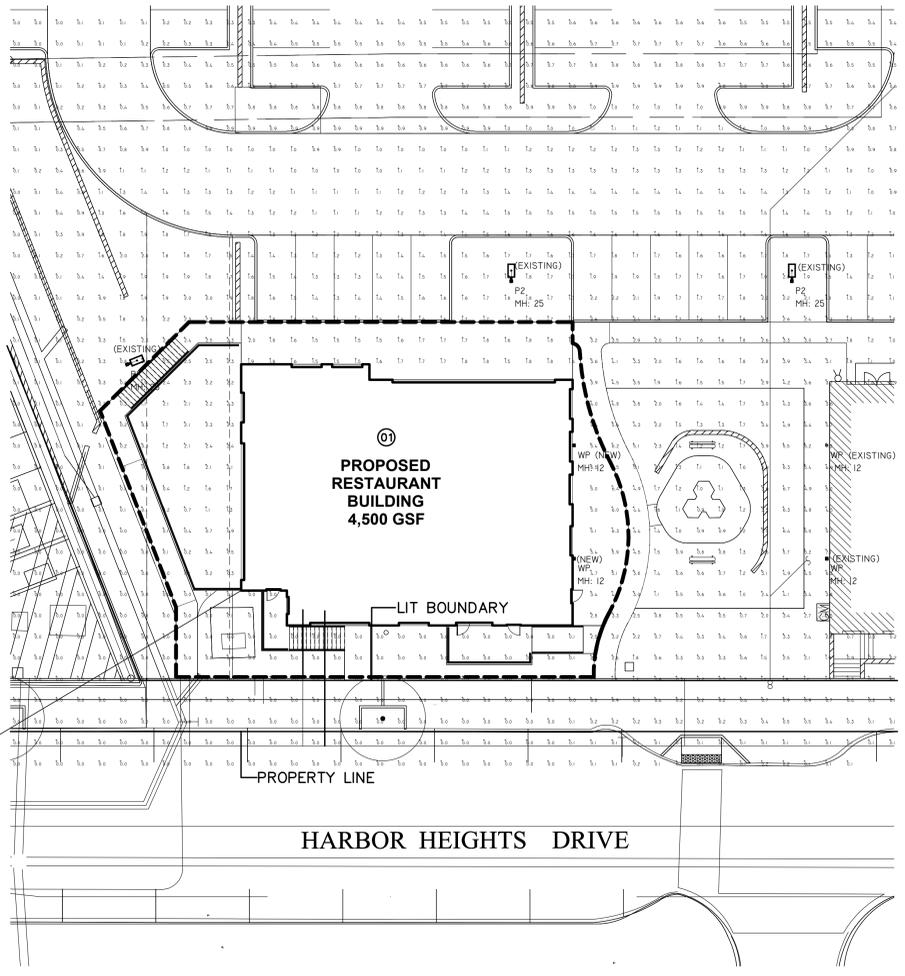
E
D
C
B
A

SITE LIGHTING LUMINAIRE SCHEDULE									
TYPE	DESCRIPTION	LAMPS		TOTAL FIXT WATTS	VOLTS	ARRANGEMENT	INSTALLATION	MANUFACTURER MODEL#	REMARKS
		NO.	TYPE						
WP	OVER-DOOR LED OUTDOOR EGRESS AND SECURITY LIGHT WITH CUT OFF SHIELDING	1	LED'S	33.4 W LED 4045 LUMENS	UNIV	--	WALL MOUNT	COOPER EATON IST-AF-600-LED-E1-SL2	1,3
WPE	OVER-DOOR LED OUTDOOR EGRESS EMERGENCY AND SECURITY LIGHT WITH CUT OFF SHIELDING	1	LED'S	33.4W LED 4045 LUMENS	UNIV	--	WALL MOUNT	COOPER EATON IST-AF-600-LED-E1-SL2-888 EMERGENCY BATTERY	1,3
P1	SITE AND PARKING LIGHT POLE LED	1	LED'S	113 W	UNIV	SINGLE	POLE MOUNT	COOPER GLEON-AF-02-LED-E1-SL4-HSS GULLWIG G18-X-X-UNIV - EQUAL TO COOPER GLEON	ALL
P2	SITE AND PARKING LIGHT POLE LED	1	LED'S	113 W	UNIV	SINGLE	POLE MOUNT	COOPER GLEON-AF-02-LED-E1-SWQ GULLWIG G18-X-X-UNIV - EQUAL TO COOPER GLEON	ALL

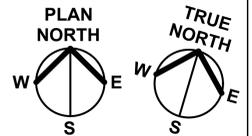
NOTES:
 1. APPROVED EQUALS ARE COOPER, COLUMBIA, PHILIPS AND LITHONIA.
 2. REFER TO DETAIL SHEET FOR CONCRETE BASE.
 3. FINISHES BY ARCHITECT.
 4. PROVIDE 3 FT ROUND CONCRETE BASES.
 5. TOTAL HEIGHT OF POLES INCLUDING BASE SHALL BE 25 FEET.
 6. CUT OFF AT SITE BOUNDARIES SHALL BE LES THAN 0.2 FOOTCANDLES.
 LIGHTING REP OF ASSISTANCE WAS CHAD HANEY AT TEXAS LIGHTING, 817-714-2444. PLEASE CALL CHAD HANEY FOR PRICING

- ### GENERAL NOTES
- REFER TO E0.00 FOR COMPLETE LIST OF GENERAL NOTES.
 - MH IS THE MOUNTING HEIGHT OF THE LIGHT POLE OR BUILDING LIGHT FIXTURE. THE HEIGHT OF THE POLE INCLUDES ITS BASE. SEE SCHEDULES AND DETAILS.
 - PROVIDE CONCRETE BASES FOR POLE FIXTURES. REFER TO CIVIL HEIGHT OF POLES ON EXTERIOR LIGHTING SCHEDULE INCLUDES THE 3 FOOT BASES OR AS CIVIL PROVIDES.
 - ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH PHOTOCELL LIGHTING RELAY PANEL LOCATED IN A MAIN EQUIPMENT ROOM AS INDICATED.
 - ACTUAL PHOTOMETRIC WILL VARY DEPENDING ON THE COLOR OF THE WALLS, SURFACE TEXTURE, LANDSCAPING, AND OTHER SITE FEATURES.
 - ACTUAL FIXTURE LAYOUT AND PHOTOMETRICS MAY VARY BASED ON FINAL LOCATION OF FIXTURES. FIXTURES SHALL BE FIELD ADJUSTED BASED ON ACTUAL BUILDING AND SITE CONDITIONS.
 - CALCULATIONS ARE BASED ON CITY ORDINANCE: ON THE PARKING AREA SURFACE, AN AVERAGE OF AT LEAST 2 FC, INITIAL MEASUREMENT, AND A MINIMUM AVERAGE OF 1 FC ON A MAINTAINED BASIS.
 - CUT OFF AT SITE BOUNDARIES SHALL BE LESS THAN 0.2 FC.
 - PROVIDE CAULKING AROUND ALL SEAMS ON EXTERIOR LIGHTING AND POWER OUTLETS TO PREVENT MOISTURE BUILDUP.
 - ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH LIGHTING RELAY PANEL.

- ### KEYED NOTES DESIGNATED BY "1" "2" "3"
- ALL EXTERIOR LIGHTING SHALL BE CONTROLLED THRU A PHOTOCELL. REFER TO ELECTRICAL PANEL SCHEDULES FOR RELAY PANEL.



SITE PLAN ELECTRICAL LIGHTING
 1/16" = 1'-0"



ARCHITECT
 STROHMEYER ARCHITECTS, INC.
 2701 SUNSET RIDGE DR.
 SUITE 601
 ROCKWALL, TEXAS 75032



ENGINEERS
 HES ENGINEERS
 2626 COLE AVENUE
 SUITE 300
 DALLAS, TEXAS 75204

STRUCTURAL
 DFW STRUCTURAL CONSULTING, INC.
 12575 MILL RUN DRIVE
 FRISCO, TEXAS 75035



PERMIT
HARBOR HEIGHTS RESTAURANT & RETAIL BUILDING D
 ROCKWALL, TEXAS

Project Number: 82401
 Drawing Date: 03.24.25
 Drawn:
 Checked:

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Revisions:

#	Revision Date	Revision Description

Sheet Title:
SITE PLAN - ELECTRICAL LIGHTING

E1.01



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 27, 2025
APPLICANT: Jake Hodges; Kimley-Horn
CASE NUMBER: SP2025-017; *Site Plan for Rockwall Medical Building*

SUMMARY

Discuss and consider a request by Jake Hodges of Kimley-Horn on behalf of Jeff Brochette of Vue Real Estate for the approval of a *Site Plan* for a *Medical Office Building* on a 8.4841-acre tract of land identified as Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276, and take any action necessary.

BACKGROUND

The subject property was annexed on September 16, 1974 by *Ordinance No. 74-23 [Case No. A1974-003]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On November 4, 1974, the City Council approved a zoning change from an Agricultural (AG) District to Planned Development District 10 (PD-10) [*Ordinance No. 74-32*] for *Townhouse* and *Cluster Homes* on the subject property. On February 19, 1996, the City Council approved an amendment to Planned Development District 10 [*Ordinance No. 96-03*], which superseded the previous ordinance [*Ordinance No. 74-32*] and re-designated the subject property for Commercial (C) District land uses. On April 3, 2000, the City Council approved an additional amendment to the Planned Development District 10 (PD-10) [*Ordinance No. 00-08*], which superseded the previous ordinance [*Ordinance No. 96-03*] and amended the concept plan for the Planned Development District. On August 3, 2020, the City Council approved an amendment to Planned Development District 10 (PD-10), which consolidated all of the regulating ordinances into one (1) regulating ordinance [*Ordinance No. 20-30*]. The subject property has remained vacant since annexation. On November 26, 2024, the Planning and Zoning Commission approved a *site plan [Case No. SP2024-043]* for a *medical office building* on a portion of the subject property.

PURPOSE

On May 2, 2025, the applicant -- *Jake Hodges with Kimley-Horn* -- submitted an application requesting the approval of a site plan for a 55,577 SF *Medical Office Building* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is SH-276, which is designated as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this roadway, is a 5.354-acre tract of land (*i.e. Tract 1-3, of the J Cadle Survey, Abstract No. 65*), zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses. Beyond this is Phase 1 of the Meadow Creek Estates Subdivision, which is zoned Planned Development District 10 (PD-10) for Single Family 6 (SF-6) District land uses. Phase 1 of the Meadow Creek Estates Subdivision consists of 157 residential lots that were established on June 8, 1999.

South: Directly south of the subject property is a 12.3909-acre parcel of dedicated open space (i.e. Lot 1, Block X, Meadowcreek Estates, Phase III) owned by the City of Rockwall and zoned Planned Development 10 (PD-10) District. Beyond this is a 4.75-acre parcel of dedicated open space (i.e. Lot 5, Block X, Hickory Ridge, Phase I) owned by the City of Rockwall, and zoned Planned Development 10 (PD-10) District. Beyond this is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six (6) lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is Phase 3 of the Meadowcreek Estates Subdivision, which is zoned Planned Development 10 (PD-10) District for Single Family 6 (SF-6) District land uses. This subdivision consists of 132 residential lots and was established on February 27, 2001. Beyond this is Faircrest Drive, which is identified as a Minor Collector on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 4 of the Meadowcreek Estates Subdivision, which is zoned Planned Development 10 (PD-10) District for Single Family 6 (SF-6) District land uses. This subdivision consists of 192 residential lots and was established on August 16, 2001.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six (6) lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 8.868-acre parcel of land (i.e. Lot 1, Block 1, Helwig Addition), which is zoned Planned Development 44 District (PD-44) for Heavy Commercial (HC) District land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Medical Office Building* is a permitted *by-right* land use in a Commercial (C) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within Planned Development District 10 (PD-10) and the Unified Development Code (UDC) for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=8.4841-acres; <i>In Conformance</i>
<i>Minimum Lot frontage</i>	60-Feet	X>60-feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	X~513.77-feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	50-Feet	X~121-feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	60-Feet	X~44.5-feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	X<60%; <i>In Conformance</i>
<i>Minimum Masonry Requirement</i>	90%	X>90%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	1/200 SF = 278 spaces	X=278; <i>In Conformance</i>
<i>Minimum Stone Requirement</i>	20%	X=0%; <i>Not in Conformance</i>
<i>Minimum Landscaping Percentage</i>	20%	X=26%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	85-90%	X=74%; <i>In Conformance</i>

TREESCAPE PLAN

The *Treescape Plan* provided by the applicant indicates that 37 protected Eastern Red Cedar trees -- totaling 148-inches -- are to be removed from the site. To satisfy this mitigation balance, the applicant is proposing to plant 142, four (4) inch caliper trees totaling 568 caliper inches on site.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 02.02(D)(2), *Office or Medical Office Building*, of Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Office or Medical Office Building* as "...(a) facility designed to support a range of healthcare services, including diagnostics, treatments, and administrative functions. These services encompass procedures requiring medical

devices or the expertise of a qualified medical professional. Examples include but are not limited to medical doctor offices, physical therapy, massage therapy, chiropractic care, Botox treatments, and sonograms". In this case, the applicant is requesting a *Medical Office Building*, which conforms to the land use listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). In addition, the proposed site plan generally conforms to the standards of the *General Overlay District Standards* and the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

According to Subsection 05.02, *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers." As an alternative, the code allows the Planning and Zoning Commission to consider the use of three (3) tiered landscaping and a berm along the entire residential adjacency. In this case, the applicant has provided a 25-foot wide landscape buffer along the east property line and a ten (10) foot landscape buffer along the south property line with a three (3) tiered landscape buffer and a berm.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As previously stated, the applicant's request appears to generally conform to the requirements of Planned Development District 10 (PD-10) and the Unified Development Code (UDC); however, staff has identified the following variance and exception associated with the applicant's request:

(1) Architectural Standards.

- (a) Stone. According to Subsection 05.01(A), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades..." In this case, the material sample board provided by the applicant shows the use of burnished block on 100.00% of the exterior of the building. Based on this, the applicant will require a variance from the Planning and Zoning Commission.
- (b) Primary Articulation. According to Subsection 05.01(C)(1), *Primary Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) primary building façade is any building façade that has a primary entryway for a business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residential used property." This section of the code goes on to state that these facades "...shall meet the standards for articulation on primary building facades as depicted in Figure 13." In this case, the eastern and western building façades do not meet the articulation requirements for a *Primary Building Façade*, and will require an exception from the Planning and Zoning Commission.

- (2) Residential Adjacency Screening. According to Subsection 04.01(4), *Residential Adjacency Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(w)here the property immediately abuts a residential zoning district or residentially used property -- unless separated by an M4D (major collector, four [4] lane, divided roadway) or larger thoroughfare -- a minimum 25-foot wide landscaped buffer must be installed for buildings with a building footprint of 25,000 SF to 49,999 SF in area, a minimum of a 50-foot wide landscaped buffer for buildings with a building footprint of 50,000 SF or greater." In this case, the applicant is required to provide a 50-foot wide landscaped buffer along the east and south property lines. In lieu of this, the applicant has provided a 25-foot wide landscape buffer along the east property line and a ten (10) foot landscape buffer along the south property line with a three (3) tiered landscape buffer and a berm. Staff should point out that there is an approximately 800-foot natural buffer of floodplain between the south property line and the residential homes in Hickory Ridge Subdivision. Regardless of this buffer, this aspect of the applicant's request will still require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue

hardship.” In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. In this case, the applicant has provided the following compensatory measures in their variance letter: [1] increased landscaping, [2] addition of architectural and shading elements over the main façade, [3] pedestrian areas adjacent to the building, and [4] additional architectural features in the design of the building. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission, that require a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the South Central Residential District which “...contains a mixture of established medium and low density residential subdivisions along with several large tracts of land designated for low density residential land uses.” The South Central Residential District is “...anticipated to add additional suburban developments in the western and southern areas of the district.” The applicant’s site plan appears to meet the intent of Comprehensive Plan for a supportive retail/office land use within the South Central Residential District.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

The applicant has provided building elevations that will be reviewed by the Architectural Review Board (ARB) at the May 27, 2025 Planning and Zoning Commission meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant’s Site Plan for a medical office building on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **E Corner of the intersection of S Goliad St and SH 276**

SUBDIVISION **Unplatted - W.H. Barnes Survey, Abstract No. 26** LOT **N/A** BLOCK **N/A**

GENERAL LOCATION **E Corner of the intersection of S Goliad St and SH 276**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-10** CURRENT USE **Undeveloped**

PROPOSED ZONING **PD-10** PROPOSED USE **Medical Office**

ACREAGE **8.4841** LOTS [CURRENT] **N/A** LOTS [PROPOSED] **2**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Vue Real Estate**

APPLICANT **Kimley-Horn**

CONTACT PERSON **Jeff Brockett**

CONTACT PERSON **Jake Hodges**

ADDRESS **9600 N Central Expressway
Suite 100**

ADDRESS **203 W Nash St, Suite 100**

CITY, STATE & ZIP **Dallas, Texas 75231**

CITY, STATE & ZIP **Terrell, Texas 75160**

PHONE **Address**

PHONE **972-588-4263**

E-MAIL **Dani.carr@vuerealestate.com**

E-MAIL **Jake.Hodges@kimley-horn.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jeffrey T. Brockett [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

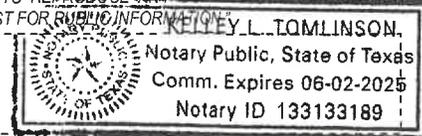
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF April, 2025

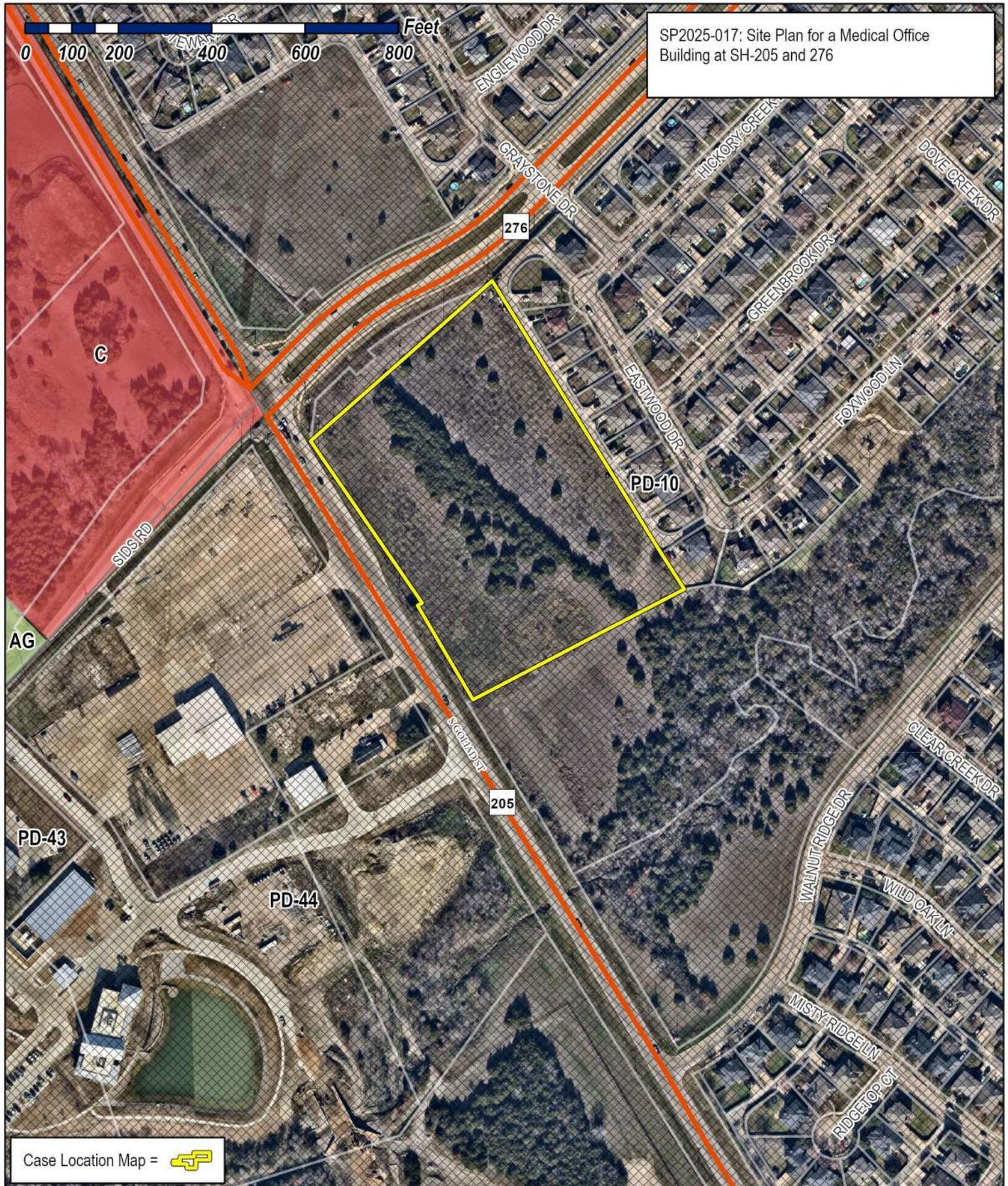
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jeffrey T. Brockett
Kelley H. Tomlinson



MY COMMISSION EXPIRES 6/2/2025



SP2025-017: Site Plan for a Medical Office Building at SH-205 and 276

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SI #: 25101

VUE REALTY GROUP, LLC.

ROCKWALL MOB

STATE HIGHWAY 205 AND STATE HIGHWAY
276 BYPASS
ROCKWALL, TEXAS

SEAL:



STUDIO INDIGO DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS		
DATE	#	DESCRIPTION

DATE: 2025.05.01

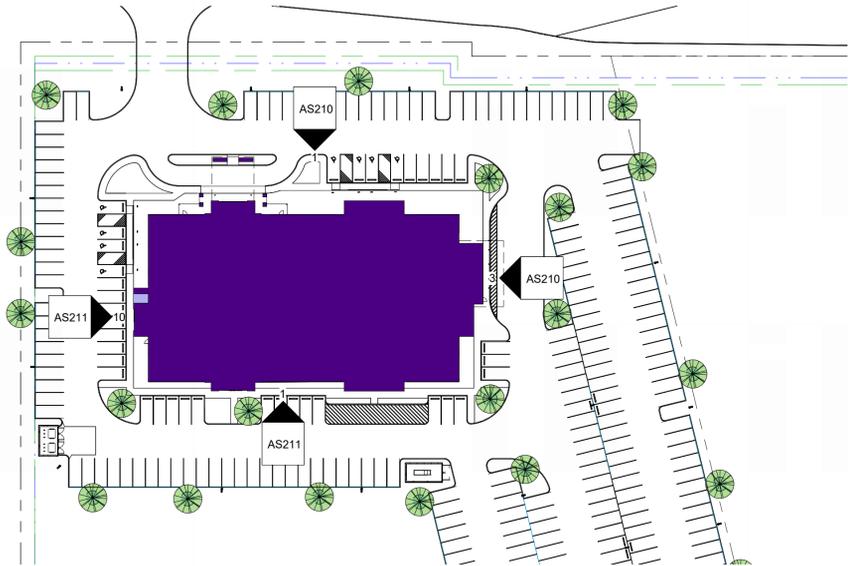
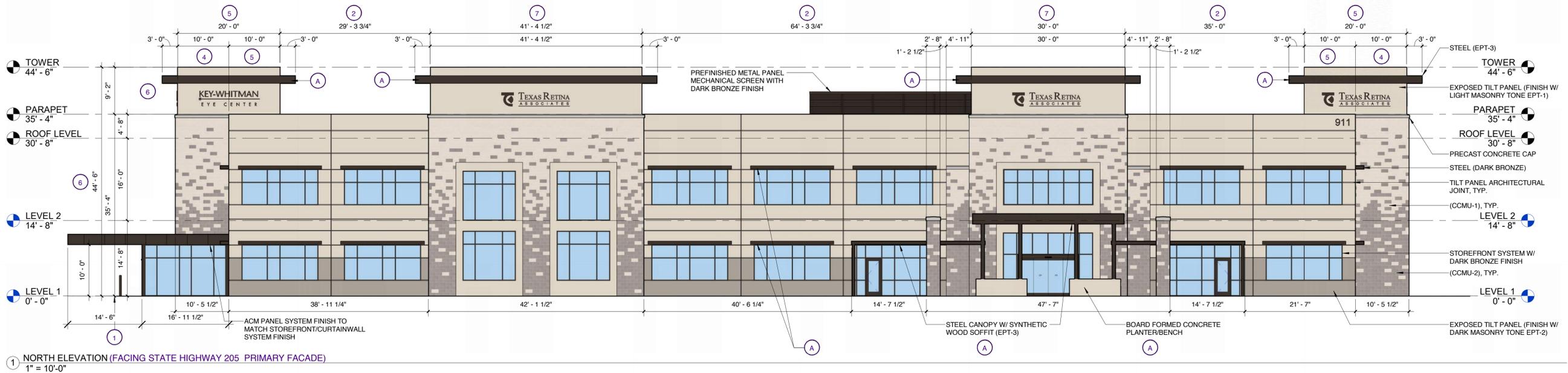
DRAWN BY: WLI

EXTERIOR ELEVATIONS - COLOR

DRAWING NUMBER:

AS210

SCALE: AS INDICATED



2 ARCHITECTURAL ELEVATION LEGEND
1" = 60'-0"

	TOTAL FACADE AREA (S.F.)	TOTAL GLAZING AREA (S.F.)	TOTAL AREA MINUS GLAZING (S.F.)	TOTAL TILT PANEL AREA (S.F.)	TOTAL BURNISHED BLOCK AREA (S.F.)	TOTAL GLAZING PERCENTAGE (S.F.)	TOTAL TILT PANEL PERCENTAGE	TOTAL BURNISHED BLOCK PERCENTAGE
NORTH ELEVATION	9,534	2,302	7,232	4,881	2,351	24.1%	51%	25%
EAST ELEVATION	5,367	1,210	4,157	2,908	1,249	22.5%	70%	30%
SOUTH ELEVATION	9,534	2,224	7,310	4,967	2,343	23.3%	52%	25%
WEST ELEVATION	5,367	1,210	4,157	2,908	1,249	22.5%	70%	30%

PRIMARY FACADE ARTICULATION COMPLIANCE KEY NOTES:

- 1 WALL HEIGHT.** THE WALL HEIGHT SHALL BE MEASURED FROM GRADE TO THE TOP OF THE WALL.
PROPOSED WALL HEIGHT IS AT 35'-4" (REFER TO ELEVATIONS)
- 2 WALL LENGTH.** THE MAXIMUM WALL LENGTH SHALL NOT EXCEED THREE (3) TIMES THE WALL HEIGHT (I.E. 3 X 1 ≥ 2).
35'-4"(3) = 106'-0" (COMPLIES) MAX LENGTH PROPOSED IS 64'-3 3/4".
- 3 SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH.** THE MINIMUM LENGTH OF THE SECONDARY ENTRYWAY OR PROJECTING ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL LENGTH (I.E. 25% X 2 ≤ 3).
NORTH/SOUTH: 64'-3 3/4" (25%) = 16' 15/16"
SECONDARY FEATURE SHOWN AS 30' 0" (COMPLIES)
- 4 WALL PROJECTION.** THE MINIMUM WALL PROJECTION FOR A PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL HEIGHT (I.E. 25% X 1 ≤ 4).
35'-4"(25%) = 8'-10" (COMPLIES)
NORTH AND SOUTH ARE PROPOSED AT 9'-0".
EAST AND WEST ARE PROPOSED AT 10'-0".
- 5 PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT WIDTH.** THE MINIMUM WALL WIDTH OF THE PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL EXTEND TWICE THE REQUIRED WALL PROJECTION (I.E. 2 X 4 ≥ 5).
2(8'-10") = 17'-8" (COMPLIES) PROPOSED AT 18'-0"
- 6 PROJECTION HEIGHT.** THE PRIMARY AND SECONDARY ENTRYWAYS/ARCHITECTURAL ELEMENT SHALL EXTEND A MINIMUM OF 25% OF THE WALL HEIGHT ABOVE THE TOP OF THE WALL (I.E. 25% X 1 ≤ 6).
35'-4"(100%) + 8'-10" (25%) = 44'-2" (125%) TOTAL (COMPLIES)
PROPOSED AT 9'-2" OR 44'-6" TOTAL.
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NORTH/SOUTH ELEVATION: (2)16' 15/16" = 32'-7/8" (COMPLIES) SHOWN AT 41'-4 1/2".
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ADDITIONAL ARCHITECTURAL ELEMENT

ADDITIONAL NOTES:
SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR EXPOSED CONCRETE TILT PANEL VS. MASONRY
SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR CUSTOM CONCRETE MASONRY UNITS FOR 20% STONE.



SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____

WITNESSED OUR HANDS, THIS ___ DAY OF _____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



SI #: 25101

VUE REALTY GROUP, LLC.

ROCKWALL MOB

STATE HIGHWAY 205 AND STATE HIGHWAY 276 BYPASS
ROCKWALL, TEXAS

SEAL:



STUDIO INDIGO DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS		
DATE	#	DESCRIPTION

DATE: 2025.05.01

DRAWN BY: WLI

EXTERIOR ELEVATIONS - COLOR

DRAWING NUMBER:

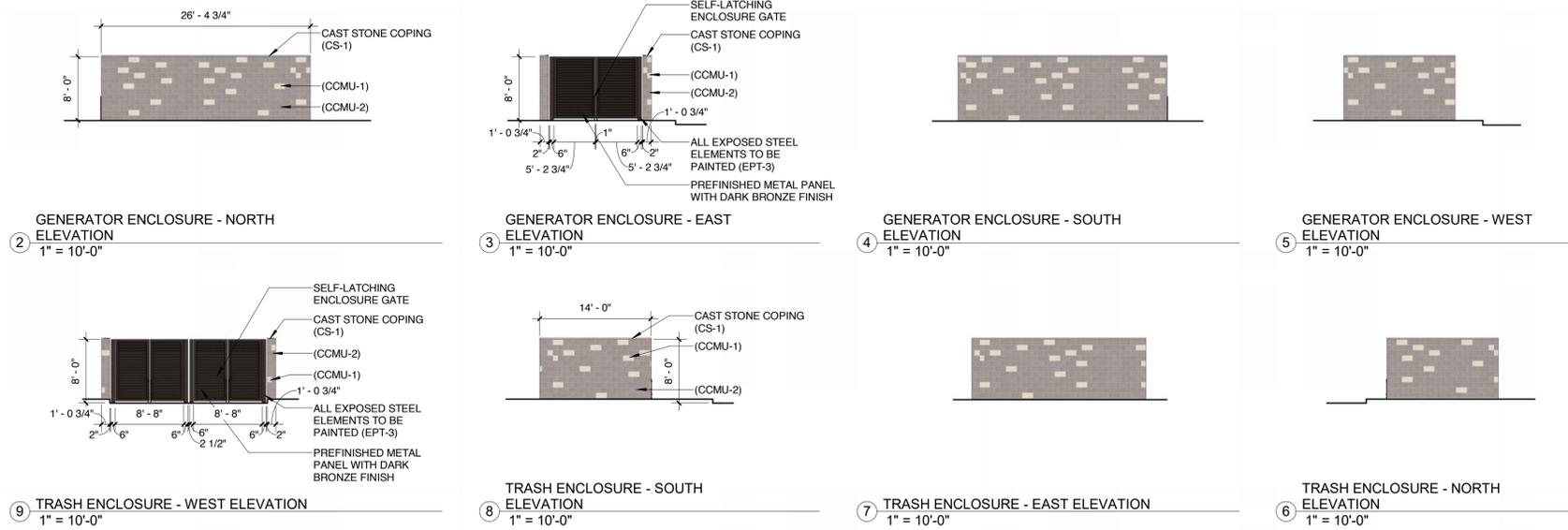
AS211

SCALE: AS INDICATED



1 SOUTH ELEVATION (FACING RESIDENTIAL - PRIMARY FACADE)
1" = 10'-0"

NOTE:
GENERATOR ENCLOSURE HEIGHT TO BE SET AT 8" ABOVE FINAL GENERATOR DESIGN.



2 GENERATOR ENCLOSURE - NORTH ELEVATION
1" = 10'-0"

3 GENERATOR ENCLOSURE - EAST ELEVATION
1" = 10'-0"

4 GENERATOR ENCLOSURE - SOUTH ELEVATION
1" = 10'-0"

5 GENERATOR ENCLOSURE - WEST ELEVATION
1" = 10'-0"

9 TRASH ENCLOSURE - WEST ELEVATION
1" = 10'-0"

8 TRASH ENCLOSURE - SOUTH ELEVATION
1" = 10'-0"

7 TRASH ENCLOSURE - EAST ELEVATION
1" = 10'-0"

6 TRASH ENCLOSURE - NORTH ELEVATION
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- ADDITIONAL NOTES:**
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SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR CUSTOM CONCRETE MASONRY UNITS FOR 20% STONE.



10 WEST ELEVATION (FACING RESIDENTIAL - SECONDARY FACADE)
1" = 10'-0"

	TOTAL FACADE AREA (S.F.)	TOTAL GLAZING AREA (S.F.)	TOTAL AREA MINUS GLAZING (S.F.)	TOTAL TILT PANEL AREA (S.F.)	TOTAL BURNISHED BLOCK AREA (S.F.)	TOTAL GLAZING PERCENTAGE (S.F.)	TOTAL EXPOSED TILT PANEL PERCENTAGE	TOTAL BURNISHED BLOCK PERCENTAGE
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SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____

WITNESSED OUR HANDS, THIS ___ DAY OF _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



SOUTHWEST PERSPECTIVE/RENDERING - VIEW FROM STATE HIGHWAY 205



SOUTHEAST PERSPECTIVE/RENDERING - VIEW FROM INTERIOR OF SITE

FINISH LEGEND - MATERIAL BOARD:



(CCMU-1):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: LIMESTONE
MORTAR: TBD



(EPT-1):
EXTERIOR PAINT
MFR: SHERWIN WILLIAMS
FINISH: SW7516 KESTREL WHITE



(CCMU-2):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: GRAY
MORTAR: TBD



(EPT-2):
EXTERIOR PAINT
MFR: SHERWIN WILLIAMS
FINISH: SW7024 FUNCTIONAL GRAY



(STOREFRONT SYSTEM):
MFR: KAWNEER OR EQUAL
FINISH: DARK BRONZE ANODIZED



(EPT-3):
EXTERIOR PAINT
MFR: SHERWIN WILLIAMS
FINISH: SW7048 - URBANE BRONZE



(SOFFIT):
SOFFIT MATERIAL
MFR: MAC METAL
COLLECTION: HARRYWOOD
FINISH: CORK



(CS-1):
CONCRETE CAST STONE
MFR: SITEWORKS ARCHITECTURAL
CAST STONE
FINISH: NATURAL



SI #: 25101

VUE REALTY GROUP, LLC.

ROCKWALL MOB

STATE HIGHWAY 205 AND STATE HIGHWAY
276 BYPASS
ROCKWALL, TEXAS

SEAL:



STUDIO INDIGO DESIGN, LLC

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REVISIONS		
DATE	#	DESCRIPTION

DATE: 2025.05.01

DRAWN BY: WLI

BUILDING MATERIAL SAMPLE BOARD & COLOR RENDERINGS

DRAWING NUMBER:

AS220

SCALE: AS INDICATED

SITE PLAN SIGNATURE BLOCK

APPROVED:
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WITNESSED OUR HANDS, THIS ____ DAY OF _____, ____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



NORTHWEST PERSPECTIVE/RENDERING - VIEW FROM DRIVE

FINISH LEGEND - MATERIAL BOARD:



(CCMU-1):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: LIMESTONE
MORTAR: TBD



(EPT-1):
EXTERIOR PAINT
MFR: SHERWIN WILLIAMS
FINISH: SW7516 KESTREL WHITE



(CCMU-2):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: GRAY
MORTAR: TBD



(EPT-2):
EXTERIOR PAINT
MFR: SHERWIN WILLIAMS
FINISH: SW7024 FUNCTIONAL GRAY



STOREFRONT SYSTEM:
MFR: KAWNEER OR EQUAL
FINISH: DARK BRONZE ANODIZED



(EPT-3):
EXTERIOR PAINT
MFR: SHERWIN WILLIAMS
FINISH: SW7048 - URBANE BRONZE



(SOFFIT):
SOFFIT MATERIAL
MFR: MAC METAL
COLLECTION: HARRYWOOD
FINISH: CORK



(CS-1):
CONCRETE CAST STONE
MFR: SITEWORKS ARCHITECTURAL
CAST STONE
FINISH: NATURAL



SI #: 25101

VUE REALTY GROUP, LLC.

ROCKWALL MOB

STATE HIGHWAY 205 AND STATE HIGHWAY
276 BYPASS
ROCKWALL, TEXAS

SEAL:



STUDIO INDIGO DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS		
DATE	#	DESCRIPTION

DATE: 2025.05.01

DRAWN BY: Author

BUILDING MATERIAL SAMPLE BOARD & COLOR RENDERINGS

DRAWING NUMBER:

AS221

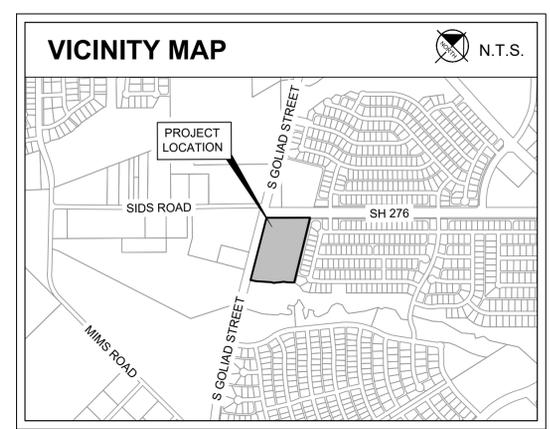
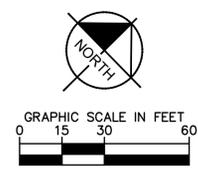
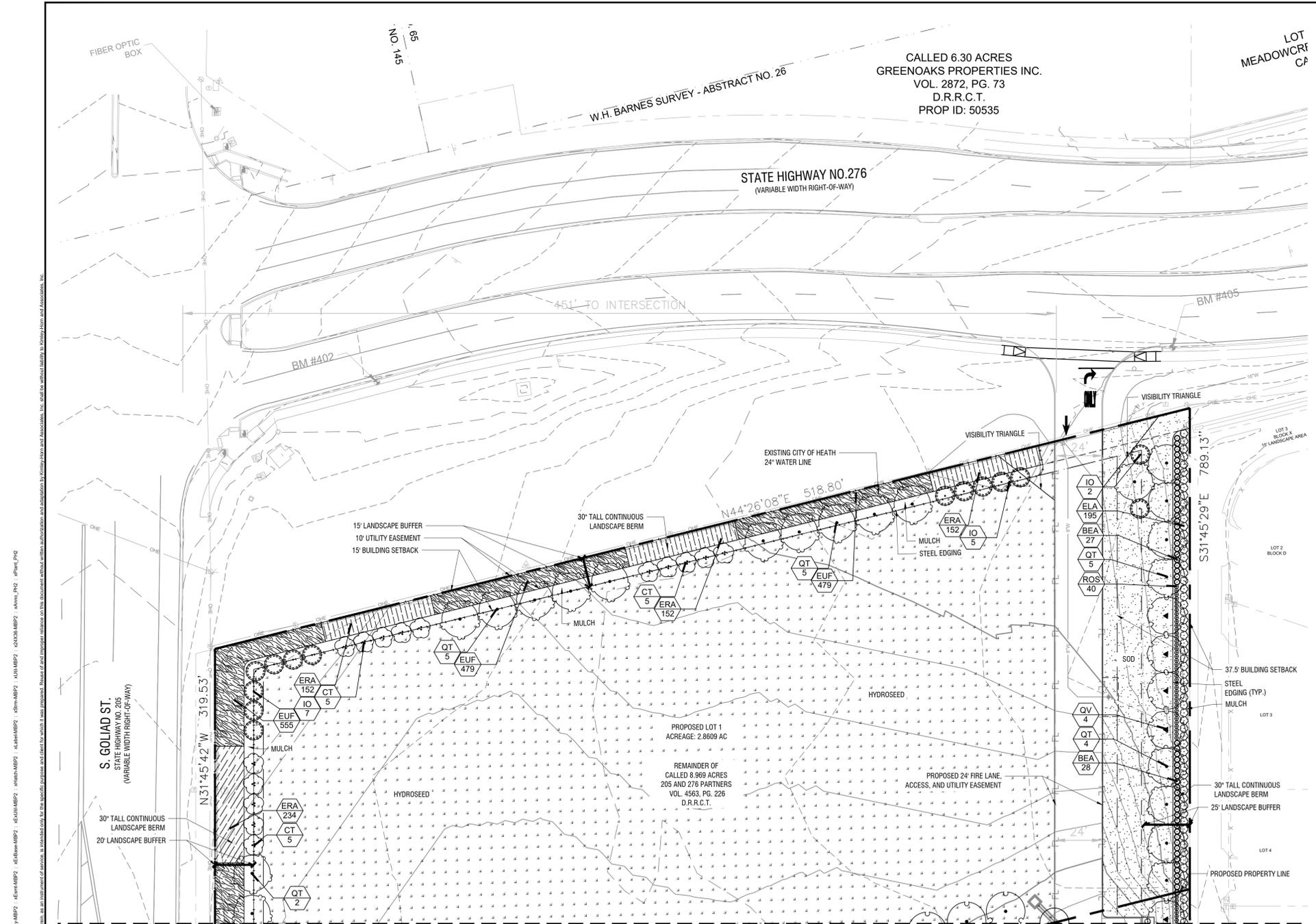
SCALE: AS INDICATED

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____, _____

WITNESSED OUR HANDS, THIS ___ DAY OF _____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



CITY OF ROCKWALL LANDSCAPE REQUIREMENTS		
LANDSCAPE MATERIAL (SECTION 4.A)	REQUIRED	PROVIDED
Canopy Trees shall be a minimum of 4" caliper	Yes	Yes
Accent Trees shall be a minimum of 4 ft in total height	Yes	Yes
Shrubs shall be a minimum of 3 gallons in size	Yes	Yes
RESIDENTIAL ZONE - LANDSCAPE BUFFERS		
A minimum of a 25-foot wide landscaped buffer must be installed for buildings with a building footprint of 25,000 SF to 49,999 SF (Subsection 04.01.E(4), Article 05, UDC)	25 ft	25 ft
6 ft masonry fence (Subsection 05.02.B, Article 08, UDC)	6 ft fence	6 ft fence
1 canopy trees / 20 lf (Subsection 05.02.B, Article 08, UDC)	16 canopy trees	16 canopy trees
314 lf / 20 lf = 16 canopy trees		
STATE HIGHWAY NO. 276 - LANDSCAPE BUFFERS		
Retail/Commercial Land Uses: 15-foot (Subsection 06.02.E, Article 05, UDC)	15 ft	15 ft
Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48-inches. (Subsection 06.02.E, Article 05, UDC)	30 in	30 in
2 canopy trees / 100 lf (Subsection 06.02.E, Article 05, UDC)	11 canopy trees	11 canopy trees
519 lf / 100 lf * 2 = 11 canopy trees		
4 accent trees / 100 lf (Subsection 06.02.E, Article 05, UDC)	21 accent trees	21 accent trees
519 lf / 100 lf * 4 = 21 accent trees		
S GOLIAD ST. (SH-205) - LANDSCAPE BUFFERS		
SH-205 Overlay District: 20 ft (Subsection 06.02.E, Article 05, UDC)	20 ft	20 ft
Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48-inches. (Subsection 06.02.E, Article 05, UDC)	30 in	30 in
2 canopy trees / 100 lf (Subsection 06.02.E, Article 05, UDC)	7 canopy trees	7 canopy trees
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4 accent trees / 100 lf (Subsection 06.02.E, Article 05, UDC)	13 accent trees	13 accent trees
314 lf / 100 lf * 4 = 13 accent trees		
PARKING LOT LANDSCAPING		
Parking lots with more than two rows of parking spaces shall have a minimum of 200 sf of landscaping. (Subsection 05.03.E, Article 08, UDC)	200 sf	200 sf
No parking spaces may be located more than 80-feet from the trunk of a canopy tree. (Subsection 05.03.E, Article 08, UDC)	80 ft	80 ft
LANDSCAPE REQUIREMENTS		
Zoning District: Commercial (C) District 20% required landscaping areas. (Subsection 05.03.A, Article 08, UDC)	43,647 sf (20%)	45,354 sf (20.8%)
20% x 218,234 sf = 43,647 sf		
A minimum of 50% of the required landscaping shall be located in the front of and along the side of buildings with street frontage. (Subsection 05.03.A, Article 08, UDC)	21,824 sf (50%)	*21,824 sf (50%)
50% x 43,647 sf = 21,824 sf		
DETENTION BASIN REQUIREMENTS		
1 canopy tree / 750 sf (Subsection 05.03.D, Article 08, UDC)	69 canopy trees	69 canopy trees
52000 sf / 750 sf = 69 canopy trees		
1 accent tree / 1500 sf (Subsection 05.03.D, Article 08, UDC)	34 accent trees	34 accent trees
52000 sf / 1500 sf = 34 accent trees		
SCREENING REQUIREMENTS		
Trash/Recycling enclosures shall be four sided. These receptacles shall be screened by a minimum six foot, solid masonry dumpster enclosure.	6 ft wall	6 ft wall
1 canopy tree / 20 lf (Subsection 01.05.E, Article 05, UDC)	4 canopy trees	4 canopy trees
62 lf / 20 lf = 4 canopy trees		
Screened with evergreen shrubs (Subsection 01.05.B, Article 05, UDC)	Yes	Yes

PLANT SCHEDULE			
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
TREES			
	AG	19	Acer rubrum 'October Glory' TM / October Glory Maple
	QT	57	Quercus texana / Texas Red Oak
	QV	31	Quercus virginiana / Southern Live Oak
	TD	15	Taxodium distichum / Bald Cypress
	UC	20	Ulmus crassifolia / Cedar Elm
	CT	40	Cercis canadensis / Eastern Redbud
	IO	37	Ilex decidua / Possumhaw Holly
SHRUBS			
	BEA	236	Berberis atropurpurea 'Rose Glow' / Red Leaf Japanese Barberry
	ELA	195	Elaeagnus pungens / Eleagnus
	HES	33	Hesperaloe parviflora / Red Yucca
	ILB	317	Ilex cornuta 'Burfordii' / Burford Holly
	LLS	113	Leucophyllum langmaniae 'Lynn's Legacy' / Texas Sage
	ROS	249	Rosmarinus officinalis / Rosemary
	YCA	59	Yucca filamentosa 'Color Guard' / Adam's Needle
GRASSES			
	CKG	80	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass
	NAS	225	Nassella tenuissima / Mexican Feather Grass
	PEH	402	Pennisetum alopecuroides 'Hamelin' / Hamelin Dwarf Fountain Grass
GROUNDCOVERS			
	DW	332	Dianthus gratianopolitanus 'Firewitch' / Firewitch Cheddar Pink
GROUND COVERS			
	ERA	1,352	Eragrostis curvula / Weeping Lovegrass
	EUF	3,888	Euonymus fortunei 'Coloratus' / Purple-leaf Winter Creeper
	HAD	127	Hemerocallis fulva 'Aztec Gold' / Aztec Gold Daylily
	LG	364	Liriope gigantea / Giant Liriope
	LIR	431	Liriope muscari / Liriope
	NC	142	Nepeta mussinii / Catnip

IMAGES COURTESY OF: ... PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

MATCHLINE SEE PAGE LP 1.02			
	ZE	28	Zinnia elegans / Zinnia
MISC			
	SOD	TBD	Cynodon dactylon / Common Bermuda
	HYDRO SEED	TBD	Cynodon dactylon / Common Bermuda
	SEED MIX	TBD	Detention Pond and Slope Mix
	DG	TBD	Decomposed Granite
	STEEL EDGING	TBD	Steel Edging
	MULCH	TBD	Shredded Hardwood Mulch

PERVIOUS IMPERVIOUS
26% (41,805 sf) 74% (117,463 sf)

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.
NOTE: REFER TO SHEET LP 3.03 TO SEE FULL LANDSCAPE TABLE
NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.
NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

PROJECT NUMBER: SP2025-XXX
LANDSCAPE PLAN FOR ROCKWALL MEDICAL BUILDING
8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CURRENT ZONING: PD-10
PROPOSED LAND USE: MEDICAL BUILDING
MAY 2, 2025

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

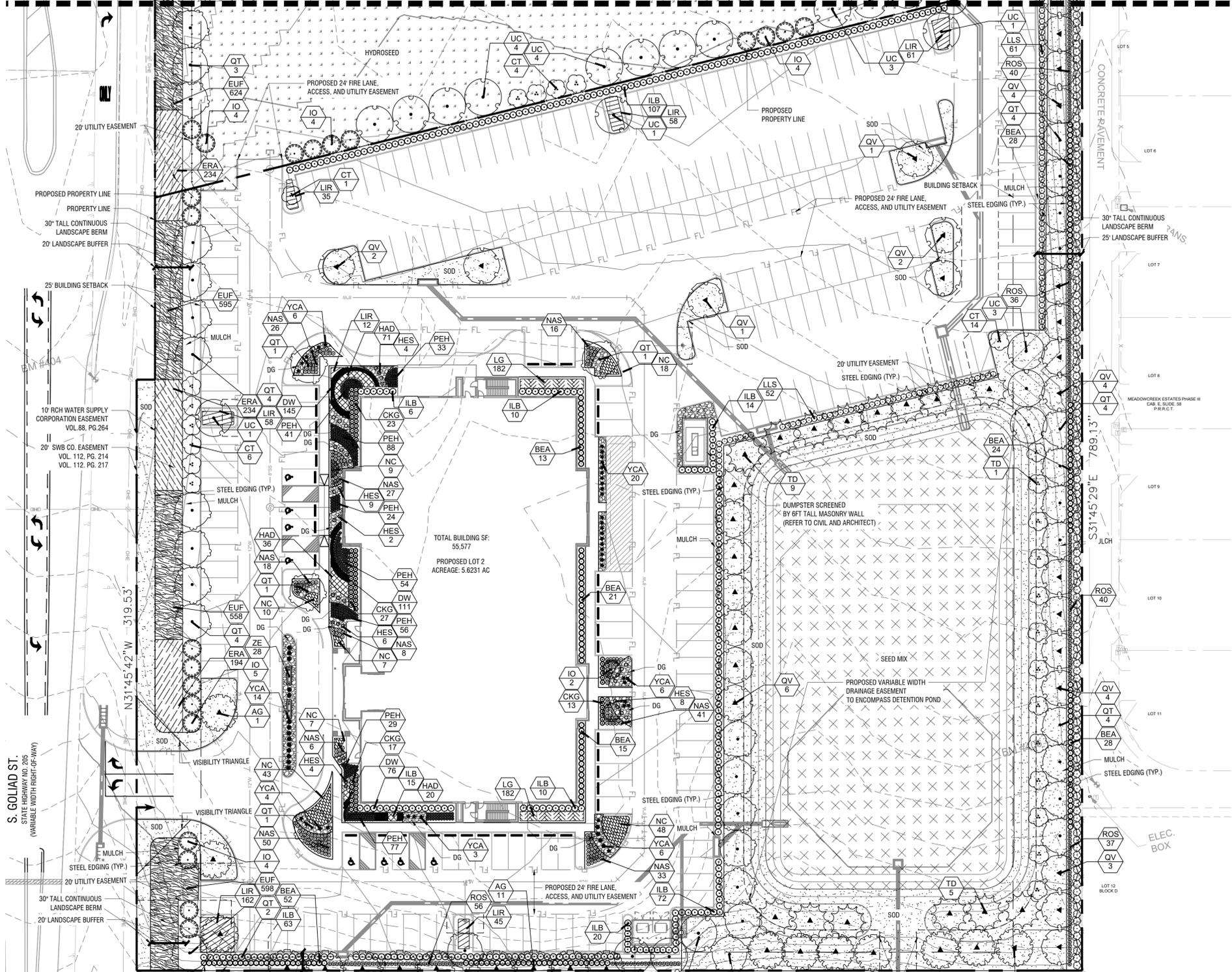
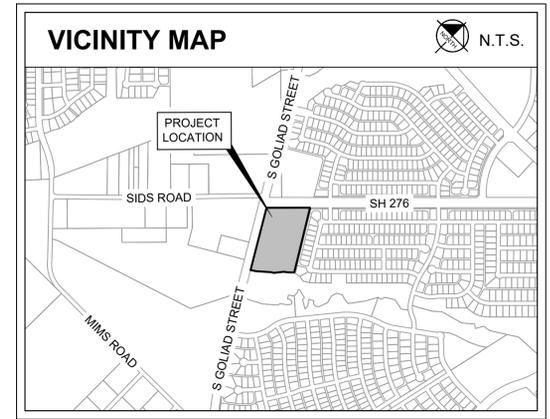
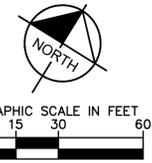
Kimley»Horn
13455 NOEL RD. TWO GALLERIA OFFICE TOWER SUITE 700 DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

REVISIONS: No. DATE

PROJECT: ROCKWALL MEDICAL BUILDING PREPARED FOR VUE REAL ESTATE CITY OF ROCKWALL, TX

LANDSCAPE PLAN SHEET NUMBER LP 1.01

MATCHLINE SEE PAGE LP 1.01



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PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	ORNAMENTAL TREE	GRASSES	GROUNDCOVERS
AG	19		Acer rubrum 'October Glory' TM / October Glory Maple	CT 40 Cercis canadensis / Eastern Redbud	CKG 80 Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	ERA 1,352 Eragrostis curvula / Weeping Lovegrass
QT	57		Quercus texana / Texas Red Oak	IO 37 Ilex decidua / Possumhaw Holly	NAS 225 Nassella tenuissima / Mexican Feather Grass	EUF 3,888 Euonymus fortunei 'Coloratus' / Purple-leaf Winter Creeper
QV	31		Quercus virginiana / Southern Live Oak	BEA 236 Berberis atropurpurea 'Rose Glow' / Red Leaf Japanese Barberry	PEH 402 Pennisetum alopecuroides 'Hamel' / Hameln Dwarf Fountain Grass	HAD 127 Hemerocallis fulva 'Aztec Gold' / Aztec Gold Daylily
TD	15		Taxodium distichum / Bald Cypress	ELA 195 Elaeagnus pungens / Eleagnus		LG 364 Liriope gigantea / Giant Liriope
UC	20		Ulmus crassifolia / Cedar Elm	HES 33 Hesperaloe parviflora / Red Yucca		
				ILB 317 Ilex cornuta 'Burfordi' / Burford Holly		
				LLS 113 Leucophyllum langmaniae 'Lynn's Legacy' / Texas Sage		
				ROS 249 Rosmarinus officinalis / Rosemary		
				YCA 59 Yucca filamentosa 'Color Guard' / Adam's Needle		

Previous	Impervious
28% (41,805 sf)	74% (117,463 sf)

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC TABLE
 NOTE: REFER TO SHEET LP 3.03 TO SEE FULL LANDSCAPE TABLE
 NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD. NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.
 NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

SITE PLAN SIGNATURE BLOCK
 APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, 2025.
 WITNESS OUR HANDS, THIS ___ DAY OF ___, 2025.
 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

PROJECT NUMBER: SP2025-XXX

LANDSCAPE PLAN FOR ROCKWALL MEDICAL BUILDING
 8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CURRENT ZONING: PD-10
 PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025
 ENGINEER / SURVEYOR: KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 203 WEST NASH ST, SUITE 100 DALLAS, TX 75201 PHONE: (972) 588-4263 CONTACT: MATT LUCAS, P.E.
 OWNER: VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (855) 228-7460 CONTACT: JEFF BROCKETTE
 ARCHITECT: BLUE FIN DESIGN ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 PHONE: (855) 228-7460 CONTACT: WARREN L. INCE

Kimley»Horn
 13455 NOEL RD. TWO GALLERIA OFFICE TOWER SUITE 700 DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
 WWW.KIMLEY-HORN.COM TX F-928
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FOR REVIEW ONLY
 Not for construction or permit purposes.
Kimley»Horn
 P.L.A. NICHOLAS B. ADAMS
 L.A. No. 3454 Date: 5/2/2025

KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY
060016600	5/2/2025	AS SHOWN	KAE	KAE	NBA	

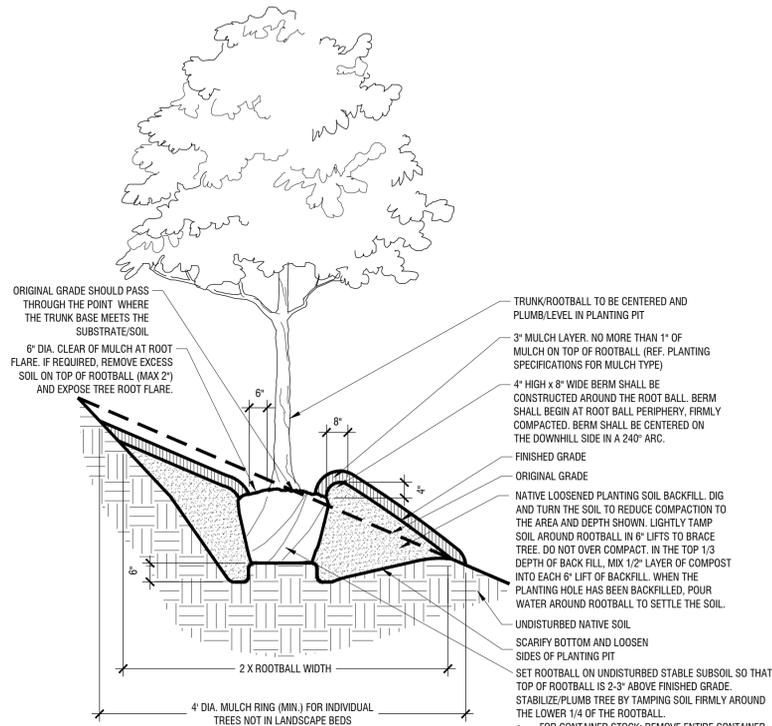
ROCKWALL MEDICAL BUILDING PREPARED FOR VUE REAL ESTATE CITY OF ROCKWALL, TX

LANDSCAPE PLAN
 SHEET NUMBER LP 1.02

NO.	REVISIONS	DATE

IMAGES: © Kimley-Horn and Associates, Inc. (KHA) for the City of Rockwall, Texas. All rights reserved. No part of this document may be reproduced without the written permission of Kimley-Horn and Associates, Inc. DATE PLOTTED: 5/2/2025 10:11 AM PLOT BY: J. LAM D:\PROJECTS\2025\SP2025-XXX\LANDSCAPE\LANDSCAPE PLAN LP 1.02.DWG DWG NAME: LP 1.02

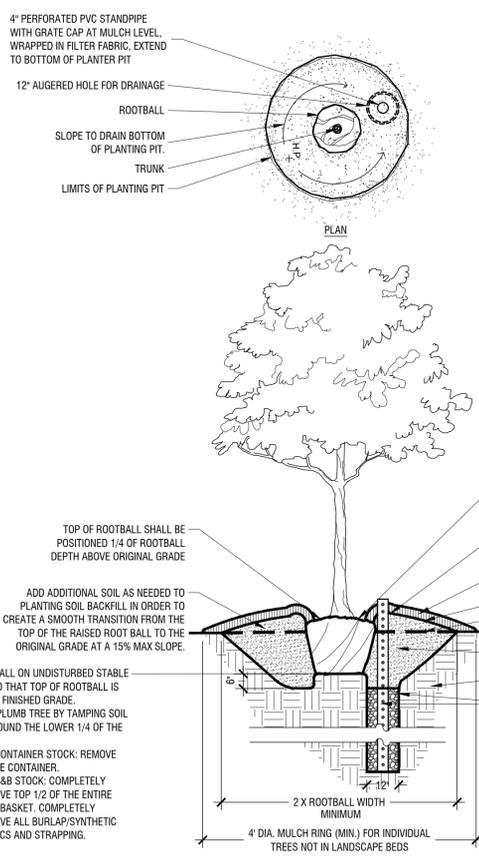
NOTES:
 1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. REF. TREE STAKING DETAIL THIS SHEET.



Tree Planting On 5-25% Slopes (20:1 to 4:1 Slopes)

Scale: NTS

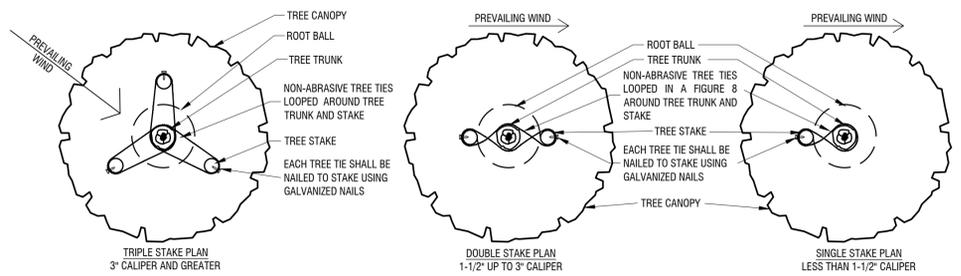
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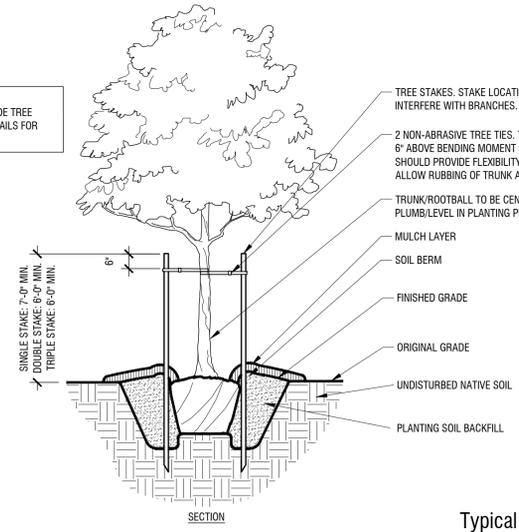
Tree Planting (Poor Drainage Condition)

Scale: NTS

C



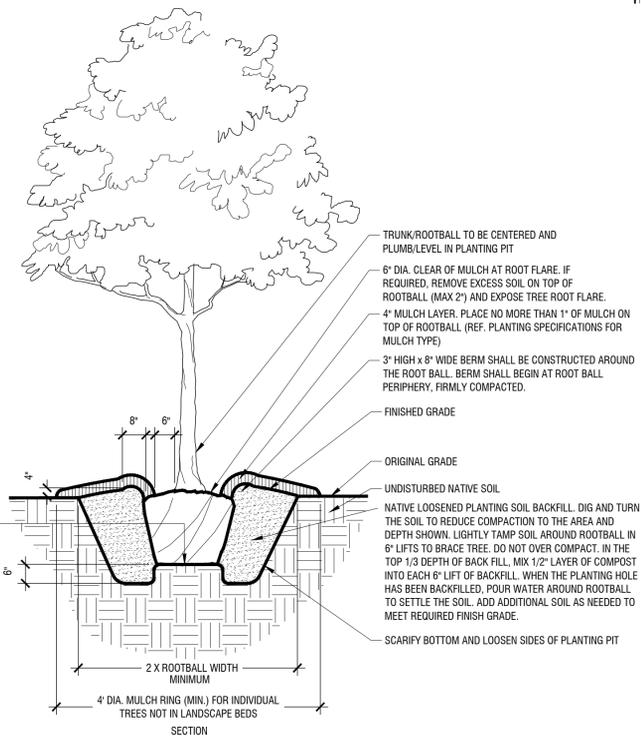
NOTES:
 1. THIS DETAIL IS FOR ABOVE GRADE TREE STAKING ONLY. REF. OTHER DETAILS FOR TYPICAL TREE PLANTING.



Typical Tree Staking

Scale: NTS

B



Typical Tree Planting (Up to 3" Caliper)

Scale: NTS

A

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

PROJECT NUMBER: SP2025-XXX

LANDSCAPE DETAILS FOR ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CURRENT ZONING: PD-10
 PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

ENGINEER / SURVEYOR
 KIMLEY-HORN AND ASSOCIATES, INC.
 ADDRESS: 203 WEST NASH ST, SUITE 100
 TERRELL, TX 75160
 PHONE: (972) 588-0263
 CONTACT: MATT LUCAS, P.E.

OWNER
 VUE REAL ESTATE
 ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100
 DALLAS, TX 75231
 PHONE: (972) 556-1700
 CONTACT: JEFF BROCKETTE

APPLICANT
 VUE REAL ESTATE
 ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100
 DALLAS, TX 75231
 PHONE: (972) 556-1700
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ARCHITECT
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Kimley»Horn
 P.L.A. NICHOLAS B. ADAMS
 L.A. No. 3454 Date: 5/2/2025

KHA PROJECT	060016600
DATE	5/2/2025
SCALE	AS SHOWN
DESIGNED BY	KAE
DRAWN BY	KAE
CHECKED BY	NBA

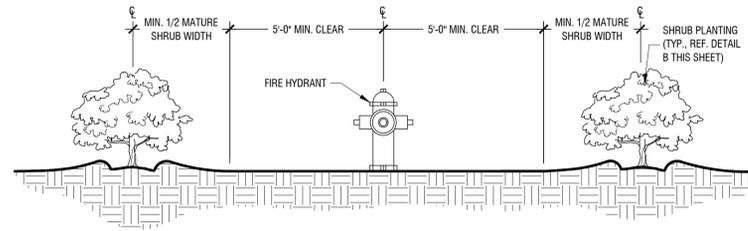
ROCKWALL MEDICAL BUILDING
 PREPARED FOR
 VUE REAL ESTATE
 CITY OF ROCKWALL, TX

LANDSCAPE DETAILS

SHEET NUMBER
LP 3.01

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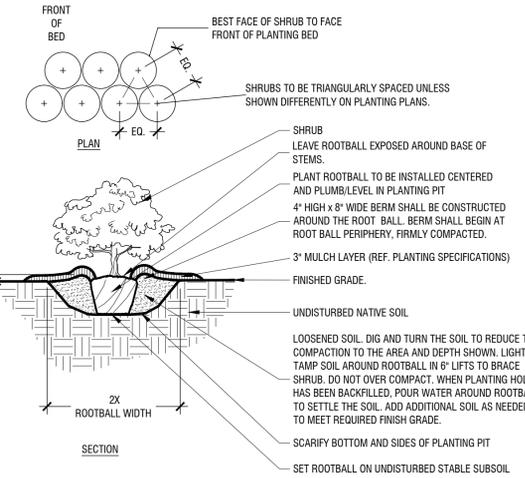
- NOTES:
- REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT.
 - WHEN SHRUBS ARE MASSED TOGETHER WITH GROUNDCOVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



Shrub Planting at Fire Hydrant

Scale: NTS

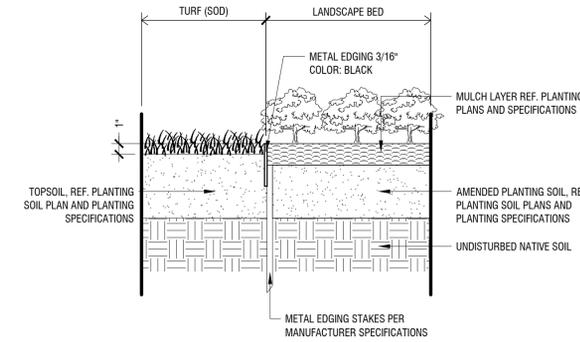
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Typical Shrub Planting

Scale: NTS

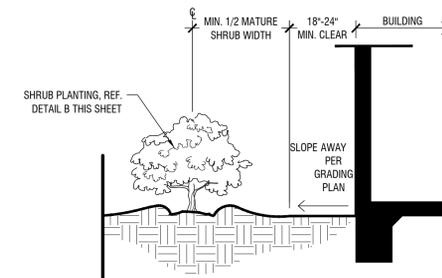
B



METAL EDGING (AT TURF & LANDSCAPE BED)

Scale: 1 1/2" = 1'-0"

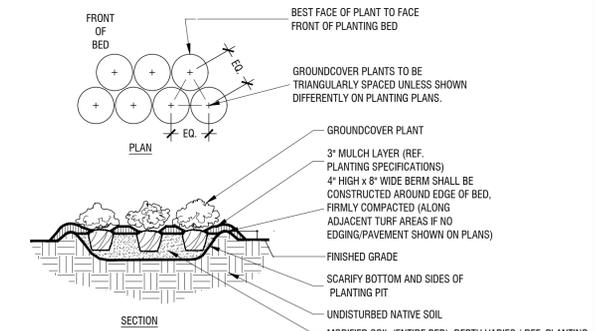
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Shrub Planting at Building Edge

Scale: NTS

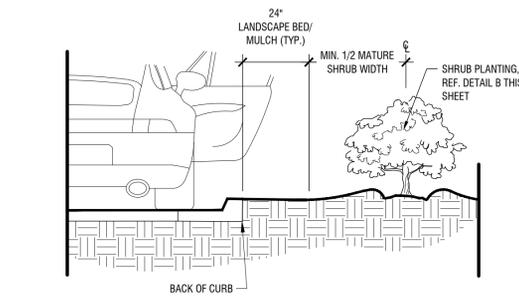
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Typical Groundcover Planting

Scale: NTS

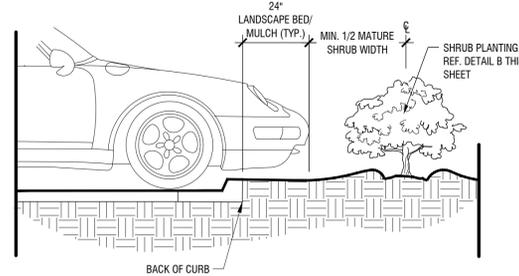
A



Shrub Planting at Curb

Scale: NTS

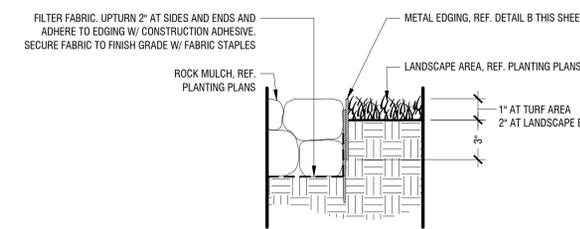
J



Decomposed Granite

Scale: 1 1/2" = 1'-0"

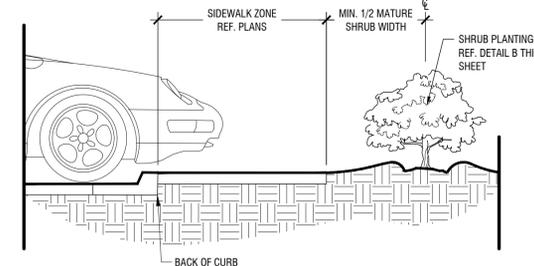
I



METAL EDGING (AT ROCK COBBLE BED)

Scale: 1 1/2" = 1'-0"

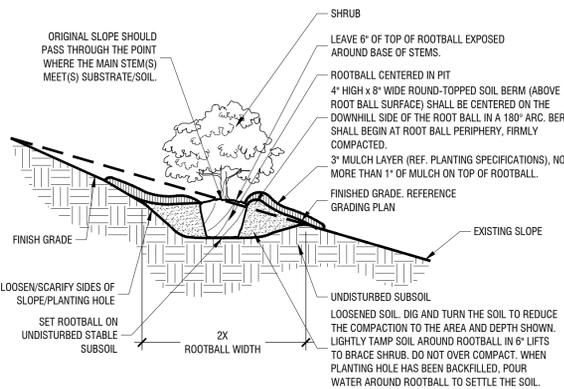
G



Shrub Planting at Sidewalk

Scale: NTS

F



Shrub Planting On 5-50% (20:1 TO 2:1) Slope

Scale: NTS

C

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

PROJECT NUMBER: SP2025-XXX

LANDSCAPE DETAILS FOR ROCKWALL MEDICAL BUILDING
 8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CURRENT ZONING: PD-10
 PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

ENGINEER / SURVEYOR KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160 (972) 568-4263 CONTACT: MATT LUCAS, P.E.	OWNER VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75251 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE
APPLICANT VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 (855) 228-7440 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE	ARCHITECT BLUE FIN DESIGN ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 (855) 228-7440 PHONE: (855) 228-7440 CONTACT: WARREN L. INCE

Kimley-Horn
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 WWW.KIMLEY-HORN.COM TX F-928
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FOR REVIEW ONLY
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Kimley-Horn
 P.L.A. NICHOLAS B. ADAMS
 L.A. No. 3454 Date: 5/2/2025

KHA PROJECT	060016600
DATE	5/2/2025
SCALE	AS SHOWN
DESIGNED BY	KAE
DRAWN BY	KAE
CHECKED BY	NBA

ROCKWALL MEDICAL BUILDING
 PREPARED FOR
 VUE REAL ESTATE
 CITY OF ROCKWALL, TX

LANDSCAPE DETAILS

SHEET NUMBER
LP 3.02

NO.	REVISIONS	DATE

IMAGES COURTESY OF: PHOTOS BY: JEFFREY W. HARRIS
 PLOTTED BY: ELIZABETH KYLE 05/02/2025 10:31 AM
 LAST SAVED: 5/2/2025 10:31 AM
 PROJECT: ROCKWALL MEDICAL BUILDING PHASE 2 PRELIMINARY PERMIT CODE/PHASE 2P ANSHEET
 DWG NAME: LP 3.02.DWG
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PLANT SCHEDULE

Table with columns: SYMBOL, CODE, QTY, BOTANICAL / COMMON NAME, SPECIFICATIONS, REMARKS. Includes sections for TREES, ORNAMENTAL TREE, SHRUBS, GRASSES, GROUND COVERS, and MISC.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

PLANTING NOTES

- 1. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK' BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

- A. SCOPE OF WORK
1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

- L. DIGGING AND HANDLING
1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSPORT.

- S. LAWN SODDING
1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETION IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

PROJECT NUMBER: SP2025-XXX

LANDSCAPE PLAN FOR ROCKWALL MEDICAL BUILDING
8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CURRENT ZONING: PD-10
PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

ENGINEER / SURVEYOR
KIMLEY-HORN AND ASSOCIATES, INC.
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OWNER
VUE REAL ESTATE
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DALLAS, TX 75231
PHONE: (972) 556-1700
CONTACT: JEFF BROCKETTE

Kimley»Horn logo and contact information: 13455 NOEL RD. TWO GALLERIA OFFICE TOWER, SUITE 700 DALLAS, TX 75240. PHONE: 972-770-1900. FAX: 972-239-3820. WWW.KIMLEY-HORN.COM TX F-928

FOR REVIEW ONLY. Not for construction or permit purposes. Kimley»Horn logo and P.L.A. No. 3464, Date: 5/2/2025.

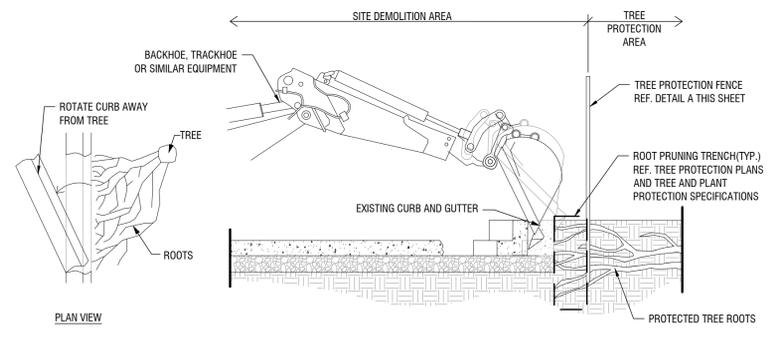
ROCKWALL MEDICAL BUILDING PREPARED FOR VUE REAL ESTATE CITY OF ROCKWALL, TX. LANDSCAPE SPECIFICATIONS AND NOTES.

REVISIONS table with columns: No., Description, Date. Includes revision 1: SHEET NUMBER LP 3.03.

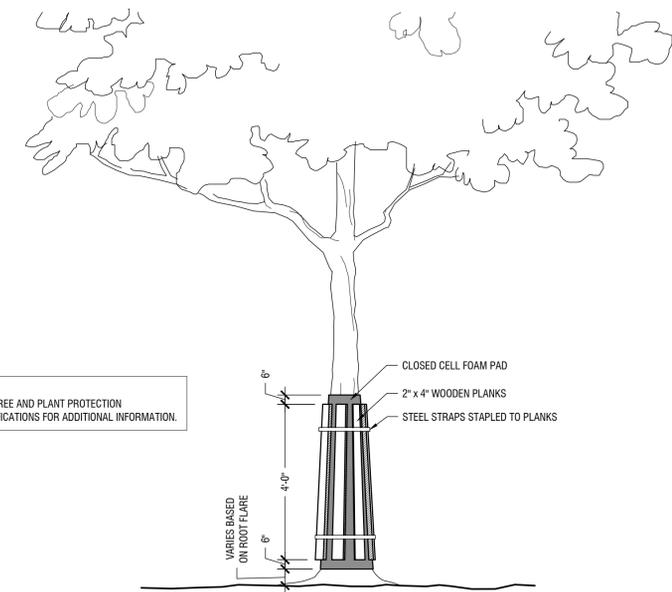
Vertical text on the left margin: This document, together with the associated landscape plan, shall be read in conjunction with the contract documents and specifications. It is intended to be used as a guide only. The specific purposes and details for each item are described only in the contract documents and specifications. It is intended to be used as a guide only. The specific purposes and details for each item are described only in the contract documents and specifications.

- DEMOLITION SEQUENCE:**
1. PERFORM ANY ROOT PRUNING.
 2. INSTALL TREE PROTECTION FENCING.
 3. BREAK OR CUT 6" SECTIONS OF CURB.
 4. CAREFULLY ROTATE CURB SECTIONS AWAY FROM ROOTS.
 5. COORDINATE ALL DEMOLITION OPERATIONS AROUND PROTECTED TREES WITH ENGINEER AND PROJECT ARBORIST.

- NOTES:**
1. PRIOR TO DEMOLITION ACTIVITIES, COORDINATE WITH OWNER'S REPRESENTATIVE.
 2. ALL TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION ACTIVITIES.
 3. OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR DEMOLITION ACTIVITIES PRIOR TO CONSTRUCTION.

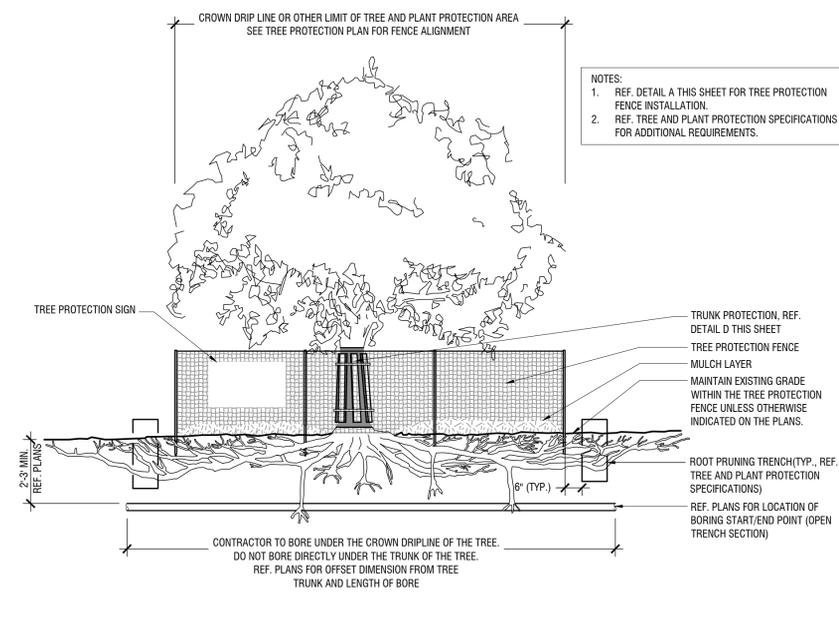


CURB DEMOLITION AROUND EXISTING TREE ROOTS
Scale: NTS



- NOTES:**
1. REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL INFORMATION.

TRUNK PROTECTION
Scale: NTS

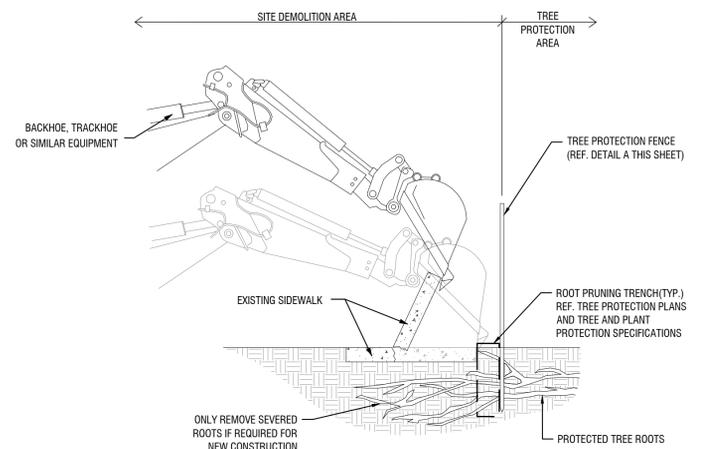


- NOTES:**
1. REF. DETAIL A THIS SHEET FOR TREE PROTECTION FENCE INSTALLATION.
 2. REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

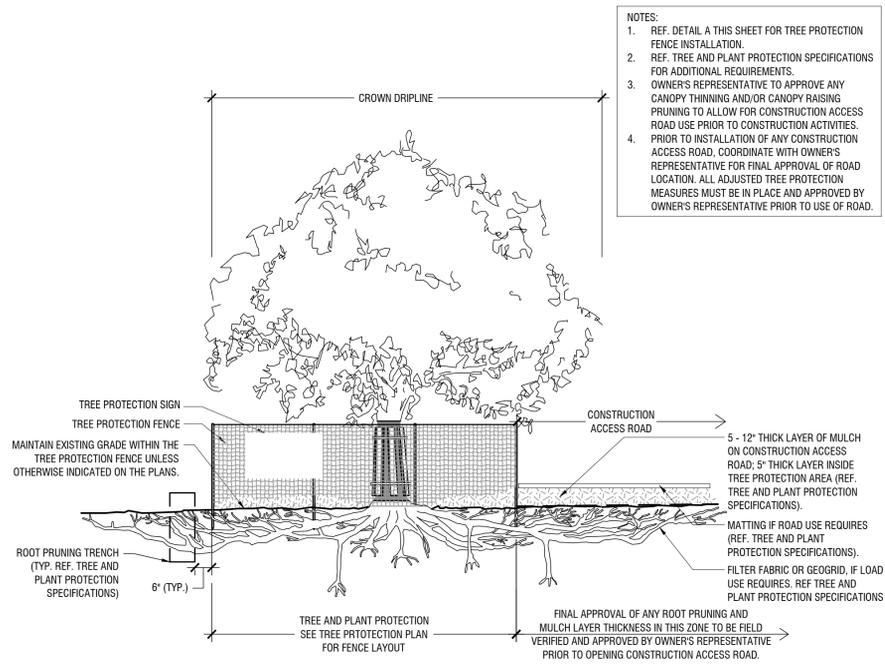
TREE PROTECTION - UTILITY BORING UNDER CROWN DRIP LINE
Scale: NTS

- DEMOLITION SEQUENCE**
1. PERFORM ANY ROOT PRUNING.
 2. INSTALL TREE PROTECTION FENCING.
 3. CAREFULLY REMOVE SIDEWALK AND BASE MATERIAL, COORDINATE ALL DEMOLITION OPERATIONS AROUND PROTECTED TREES WITH ENGINEER AND PROJECT ARBORIST.

- NOTES:**
1. PRIOR TO DEMOLITION ACTIVITIES, COORDINATE WITH OWNER'S REPRESENTATIVE.
 2. ALL TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION ACTIVITIES.
 3. OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR DEMOLITION ACTIVITIES PRIOR TO CONSTRUCTION.

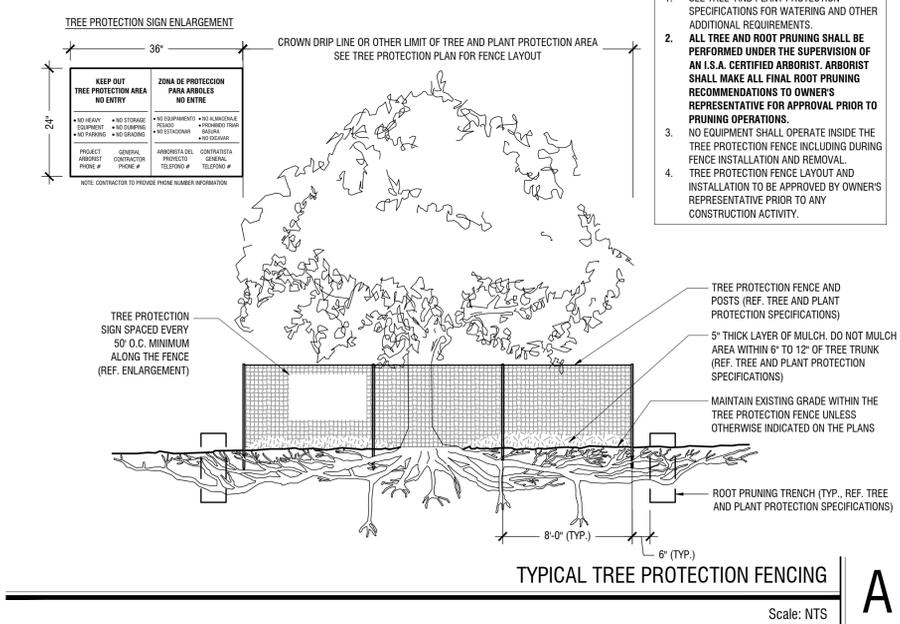


SIDEWALK DEMOLITION AROUND EXISTING TREE ROOTS
Scale: NTS



- NOTES:**
1. REF. DETAIL A THIS SHEET FOR TREE PROTECTION FENCE INSTALLATION.
 2. REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 3. OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR CONSTRUCTION ACCESS ROAD USE PRIOR TO CONSTRUCTION ACTIVITIES.
 4. PRIOR TO INSTALLATION OF ANY CONSTRUCTION ACCESS ROAD, COORDINATE WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL OF ROAD LOCATION. ALL ADJUSTED TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO USE OF ROAD.

TREE PROTECTION - CONSTRUCTION ACCESS ROAD
Scale: NTS



- NOTES:**
1. SEE TREE AND PLANT PROTECTION SPECIFICATIONS FOR WATERING AND OTHER ADDITIONAL REQUIREMENTS.
 2. ALL TREE AND ROOT PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF ALL U.S.A. CERTIFIED ARBORIST. ARBORIST SHALL MAKE ALL FINAL ROOT PRUNING RECOMMENDATIONS TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO PRUNING OPERATIONS.
 3. NO EQUIPMENT SHALL OPERATE INSIDE THE TREE PROTECTION FENCE INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 4. TREE PROTECTION FENCE LAYOUT AND INSTALLATION TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION ACTIVITY.

TYPICAL TREE PROTECTION FENCING
Scale: NTS

PROJECT NUMBER: SP2025-XXX

TREE PRESERVATION PLAN FOR ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CURRENT ZONING: PD-10
PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

ENGINEER / SURVEYOR
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PHONE: (972) 556-1700
CONTACT: JEFF BROCKETTE

ARCHITECT
BLUE FIN DESIGN
ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B
AUSTIN, TX 78728
PHONE: (855) 228-7440
CONTACT: WARREN L. INCE

NO.	REVISIONS	DATE	BY

Kimley»Horn

13455 NOEL RD. TWO GALLERIA OFFICE TOWER
SUITE 700 DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

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KHA PROJECT	060016600	DATE	5/2/2025	SCALE	AS SHOWN	DESIGNED BY	KAE	DRAWN BY	KAE	CHECKED BY	NBA
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ROCKWALL MEDICAL BUILDING
PREPARED FOR
VUE REAL ESTATE
CITY OF ROCKWALL, TX

TREE DEMOLITION AND PROTECTION DETAILS

SHEET NUMBER
LT 3.01

IMAGES: © 2019 JEFFREY M. HAYES
 PLOTTED BY: JEFFREY M. HAYES
 DATE: 5/2/2025 10:31 AM
 PROJECT: ROCKWALL MEDICAL BUILDING PHASE 2 PERMIT CONCEPTS 2/3 ARCHITECT
 DRAWN BY: JEFFREY M. HAYES
 DATE: 5/2/2025 10:31 AM
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SECTION 015639: TREE AND PLANT PROTECTION

PART 1 GENERAL

1.1 SUMMARY

- A. THE SCOPE OF WORK INCLUDES ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, FACILITIES, TRANSPORTATION AND SERVICES NECESSARY FOR, AND INCIDENTAL TO, PERFORMING ALL OPERATIONS IN CONNECTION WITH PROTECTION OF EXISTING TREES AND OTHER PLANTS AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
1. PROVIDE PRECONSTRUCTION EVALUATIONS
2. PROVIDE PROTECTION OF ROOT ZONES AND ABOVE GROUND TREES AND PLANTS
3. PROVIDE PRUNING OF EXISTING TREES AND PLANTS.
4. COORDINATE WITH THE REQUIREMENTS OF THE SPECIFICATIONS FOR MODIFICATIONS TO THE SOIL WITHIN THE ROOT ZONE OF EXISTING TREES AND PLANTS.
5. PROVIDE ALL INSECT AND DISEASE CONTROL.
6. PROVIDE MAINTENANCE OF EXISTING TREES AND PLANTS INCLUDING IRRIGATION DURING THE CONSTRUCTION PERIOD AS RECOMMENDED BY THE ARBORIST REPORT.
7. PROVIDE MAINTENANCE OF EXISTING TREES AND PLANTS INCLUDING IRRIGATION DURING THE POST CONSTRUCTION PLANT MAINTENANCE PERIOD.
8. REMOVE TREE PROTECTION FROM AROUND AND UNDER TREES AND PLANTS.
9. CLEAN UP AND DISPOSAL OF ALL EXCESS AND SURPLUS MATERIAL.

1.2 CONTRACT DOCUMENTS

- A. SHALL CONSIST OF SPECIFICATIONS AND GENERAL CONDITIONS AND THE DRAWINGS. THE INTENT OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, AND SERVICES NECESSARY FOR THE PROPER EXECUTION OF THE WORK. THE DOCUMENTS ARE TO BE CONSIDERED AS ONE. WHATEVER IS CALLED FOR BY ANY PARTS SHALL BE AS BINDING AS IF CALLED FOR IN ALL PARTS.
B. IT IS THE INTENT OF THIS SECTION THAT THE REQUIREMENTS APPLY TO ALL OTHER SECTIONS OF THE PROJECT SPECIFICATION SUCH THAT ANY SUBCONTRACTOR MUST COMPLY WITH THE RESTRICTIONS ON WORK WITHIN DESIGNATED TREE AND PLANT PROTECTION AREAS.

1.3 RELATED DOCUMENTS AND REFERENCES

- A. RELATED DOCUMENTS:
1. DRAWINGS AND GENERAL PROVISIONS OF CONTRACT INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION I SPECIFICATIONS APPLY TO WORK OF THIS SECTION.
2. IRRIGATION SPECIFICATIONS
3. PLANTING SPECIFICATIONS
B. REFERENCES: THE FOLLOWING SPECIFICATIONS AND STANDARDS OF THE ORGANIZATIONS AND DOCUMENTS LISTED IN THIS PARAGRAPH FORM A PART OF THE SPECIFICATION TO THE EXTENT REQUIRED BY THE REFERENCES THERE TO. IN THE EVENT THAT THE REQUIREMENTS OF THE FOLLOWING REFERENCED STANDARDS AND SPECIFICATION CONFLICT WITH THIS SPECIFICATION SECTION, THE REQUIREMENTS OF THIS SPECIFICATION SHALL PREVAIL. IN THE EVENT THAT THE REQUIREMENTS OF ANY OF THE FOLLOWING REFERENCED STANDARDS AND SPECIFICATIONS CONFLICT WITH EACH OTHER, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL.
1. ANSI A300 - STANDARD PRACTICES FOR TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE (9 PARTS), MOST CURRENT EDITIONS.
2. INTERNATIONAL SOCIETY OF ARBORICULTURE BEST MANAGEMENT PRACTICES (ISA BMP) MOST CURRENT EDITIONS.
a. TREE PRUNING
b. SOIL MANAGEMENT FOR URBAN TREES
c. TREE SUPPORT SYSTEMS: CABLING, BRACING, GUYING, AND PROPPING
d. TREE LIGHTING PROTECTION SYSTEMS
e. MANAGING TREES DURING CONSTRUCTION
f. TREE PLANTING
g. TREE RISK ASSESSMENT
h. TREE INVENTORY
i. INTEGRATED PEST MANAGEMENT
j. TREE INJECTIONS
k. TREE AND SHRUB FERTILIZATION
3. PRUNING PRACTICES SHALL CONFORM WITH RECOMMENDATIONS "STRUCTURAL PRUNING: A GUIDE FOR THE GREEN INDUSTRY", PUBLISHED BY URBAN TREE FOUNDATION, VISALIA, CALIFORNIA; MOST CURRENT EDITION.
4. GLOSSARY OF ARBORICULTURAL TERMS, INTERNATIONAL SOCIETY OF ARBORICULTURE, CHAMPAIGN IL, MOST CURRENT EDITION.

1.4 VERIFICATION

- A. ALL SCALED DIMENSIONS ON THE DRAWINGS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES, AND SHALL IMMEDIATELY INFORM THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE INFORMATION ON THE DRAWINGS AND THE ACTUAL CONDITIONS, REFRAINING FROM DOING ANY WORK IN SAID AREAS UNTIL GIVEN APPROVAL TO DO SO BY THE OWNER'S REPRESENTATIVE.

1.5 PERMITS AND REGULATIONS

- A. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS RELATED TO THIS SECTION OF THE WORK UNLESS PREVIOUSLY EXCLUDED UNDER PROVISION OF THE CONTRACT OR GENERAL CONDITIONS. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES BEARING ON THE OPERATION OR CONDUCT OF THE WORK AS DRAWN AND SPECIFIED. IF THE CONTRACTOR OBSERVES THAT A CONFLICT EXISTS BETWEEN PERMIT REQUIREMENTS AND THE WORK OUTLINED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING INCLUDING A DESCRIPTION OF ANY NECESSARY CHANGES AND CHANGES TO THE CONTRACT PRICE RESULTING FROM CHANGES IN THE WORK.
B. WHEREVER REFERENCES ARE MADE TO STANDARDS OR CODES IN ACCORDANCE WITH WHICH WORK IS TO BE PERFORMED OR TESTED, THE EDITION OR REVISION OF THE STANDARDS AND CODES CURRENT ON THE EFFECTIVE DATE OF THIS CONTRACT SHALL APPLY, UNLESS OTHERWISE EXPRESSLY SET FORTH.
C. IN CASE OF CONFLICT AMONG ANY REFERENCED STANDARDS OR CODES OR BETWEEN ANY REFERENCED STANDARDS AND CODES AND THE SPECIFICATIONS, THE MORE RESTRICTIVE STANDARD OR CODE SHALL APPLY OR OWNER'S REPRESENTATIVE SHALL DETERMINE WHICH SHALL GOVERN.

1.6 PROTECTION OF WORK, PROPERTY AND PERSON

- A. THE CONTRACTOR SHALL PROTECT THE WORK, ADJACENT PROPERTY, AND THE PUBLIC, AND SHALL BE RESPONSIBLE FOR ANY DAMAGES OR INJURY DUE TO HIS/HER ACTIONS.

1.7 CHANGES IN THE WORK

- A. THE OWNER'S REPRESENTATIVE MAY ORDER CHANGES IN THE WORK, AND THE CONTRACT SUM SHOULD BE ADJUSTED ACCORDINGLY. ALL SUCH ORDERS AND ADJUSTMENTS PLUS CLAIMS BY THE CONTRACTOR FOR EXTRA COMPENSATION MUST BE MADE AND APPROVED IN WRITING BEFORE EXECUTING THE WORK INVOLVED.

1.8 CORRECTION OF WORK

- A. THE CONTRACTOR SHALL RE-EXECUTE ANY WORK THAT FAILS TO CONFORM TO THE REQUIREMENTS OF THE CONTRACT AND SHALL REMEDY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP UPON WRITTEN NOTICE FROM THE OWNER'S REPRESENTATIVE, AT THE SOONEST POSSIBLE TIME THAT CAN BE COORDINATED WITH OTHER WORK AND SEASONAL WEATHER DEMANDS.

1.9 DEFINITIONS

- A. ALL TERMS IN THIS SPECIFICATION SHALL BE AS DEFINED IN THE "GLOSSARY OF ARBORICULTURAL TERMS" OR AS MODIFIED BELOW.
1. OWNER'S REPRESENTATIVE: THE PERSON APPOINTED BY THE OWNER TO REPRESENT THEIR INTEREST IN THE REVIEW AND APPROVAL OF THE WORK AND TO SERVE AS THE CONTRACTING AUTHORITY WITH THE CONTRACTOR. THE OWNER'S REPRESENTATIVE MAY APPOINT OTHER PERSONS TO REVIEW AND APPROVE ANY ASPECTS OF THE WORK.
2. REASONABLE AND REASONABLY: WHEN USED IN THIS SPECIFICATION IS INTENDED TO MEAN THAT THE CONDITIONS CITED WILL NOT AFFECT THE ESTABLISHMENT OR LONG TERM STABILITY, HEALTH OR GROWTH OF THE PLANT. THIS SPECIFICATION RECOGNIZES THAT PLANTS ARE NOT FREE OF DEFECTS, AND THAT PLANT CONDITIONS CHANGE WITH TIME. THIS SPECIFICATION ALSO RECOGNIZES THAT SOME DECISIONS CANNOT BE TOTALLY BASED ON MEASURED FINDINGS AND THAT PROFESSIONAL JUDGMENT IS REQUIRED. IN CASES OF DIFFERING OPINION, THE OWNER'S REPRESENTATIVE EXPERT SHALL DETERMINE WHEN CONDITIONS WITHIN THE PLANT ARE JUDGED AS REASONABLE.
3. SHRUB: WOODY PLANTS WITH MATURE HEIGHT APPROXIMATELY LESS THAN 25 FEET.
4. TREE AND PLANT PROTECTION AREA: AREA SURROUNDING INDIVIDUAL TREES, GROUPS OF TREES, SHRUBS, OR OTHER VEGETATION TO BE PROTECTED DURING CONSTRUCTION, AND DEFINED BY A CIRCLE CENTERED ON THE TRUNK WITH EACH TREE WITH A RADIUS EQUAL TO THE CROWN DRUPLINE UNLESS OTHERWISE INDICATED BY THE OWNER'S REPRESENTATIVE OR THE CONSTRUCTION DRAWINGS.
5. TREE: SINGLE AND MULTI-STEMMED PLANTS, INCLUDING PALMS WITH ANTICIPATED MATURE HEIGHT APPROXIMATELY GREATER THAN 25 FEET OR ANY PLANT IDENTIFIED ON THE PLANS AS A TREE.

1.10 SUBMITTALS

- A. ARBORIST REPORT

- 1. PRIOR TO THE START OF CONSTRUCTION, SUBMIT, FOR APPROVAL BY THE OWNER'S REPRESENTATIVE, THE REPORT OF A CONSULTING ARBORIST WHO IS A REGISTERED CONSULTING ARBORIST® (RCA) WITH AMERICAN SOCIETY OF CONSULTING ARBORISTS OR AN ISA BOARD CERTIFIED ARBORIST, WHICH DETAILS THE FOLLOWING INFORMATION FOR ALL TREES TO REMAIN WITHIN THE AREA DESIGNATED ON THE DRAWINGS AS THE TREE AND PLANT PROTECTION AREA. THE REPORT SHALL INCLUDE THE FOLLOWING:
a. A DESCRIPTION OF EACH TREE TO REMAIN INCLUDING ITS GENUS AND SPECIES, CONDITION INCLUDING ANY VISIBLE DAMAGE TO THE ROOT SYSTEM OR SOIL WITHIN THE ROOT ZONE, TREE DIAMETER AT BREAST HEIGHT (DBH) AND APPROXIMATE HEIGHT AND CANOPY SPREAD, SIZE AND ANY VISIBLE DISEASE, INSECT INFESTATIONS AND OR BRANCH AND TRUNK STRUCTURAL DEFICIENCIES.
b. THE REPORT SHALL NOTE ALL TREES OR PARTS OF TREES, WHICH ARE CONSIDERED A HAZARD OR SIGNIFICANT OR EXCESS RISK LEVEL, INCLUDE THE INTERNATIONAL SOCIETY OF ARBORICULTURE HAZARD EVALUATION SHEET FOR EACH TREE, WHICH MAY REASONABLY BE IDENTIFIED AS A POTENTIAL HAZARD TREE.
c. RECOMMENDATIONS AS TO TREATMENT OF ALL INSECT, DISEASE AND STRUCTURAL PROBLEMS ENCOUNTERED.
d. RECOMMENDATIONS FOR FERTILIZER TREATMENTS, IF ANY.
e. A PLAN OF THE SITE SHOWING THE LOCATION OF ALL TREES INCLUDED IN THE REPORT.

PRODUCT DATA

- 1. SUBMIT MANUFACTURER PRODUCT DATA AND LITERATURE DESCRIBING ALL PRODUCTS REQUIRED BY THIS SECTION TO THE OWNER'S REPRESENTATIVE FOR APPROVAL. PROVIDE SUBMITTAL BEFORE THE START OF ANY WORK AT THE SITE.
C. QUALIFICATIONS SUBMITTAL
1. FOR EACH APPLICABLE PERSON EXPECTED TO WORK ON THE PROJECT, PROVIDE COPIES OF THE QUALIFICATIONS AND EXPERIENCE OF THE CONSULTING ARBORIST, PROOF OF EITHER THE REGISTERED CONSULTING ARBORIST® (RCA) WITH AMERICAN SOCIETY OF CONSULTING ARBORISTS OR AN ISA BOARD CERTIFIED MASTER ARBORIST, ANY ISA CERTIFIED ARBORISTS, AND ANY REQUIRED HERBICIDE/PESTICIDE LICENSE TO THE OWNER'S REPRESENTATIVE, FOR REVIEW PRIOR TO THE START OF WORK.

1.11 OBSERVATION OF THE WORK

- A. THE OWNER'S REPRESENTATIVE MAY INSPECT THE WORK AT ANY TIME.

1.12 PRE-CONSTRUCTION CONFERENCE

- A. SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE AT LEAST SEVEN (7) DAYS BEFORE BEGINNING WORK TO REVIEW ANY QUESTIONS THE CONTRACTOR MAY HAVE REGARDING THE WORK, ADMINISTRATIVE PROCEDURES DURING CONSTRUCTION AND PROJECT WORK SCHEDULE.

1. THE FOLLOWING CONTRACTORS SHALL ATTEND THE PRECONSTRUCTION CONFERENCE:

- a. GENERAL CONTRACTOR
b. CONSULTING ARBORIST/CERTIFIED ARBORIST
c. TREE AND PLANT PROTECTION SUB-CONTRACTOR
d. EARTHWORK SUB-CONTRACTOR
e. ALL SITE UTILITY SUB-CONTRACTORS THAT MAY BE REQUIRED TO DIG OR TRENCH INTO THE SOIL.
f. LANDSCAPE SUB-CONTRACTOR
g. IRRIGATION SUB-CONTRACTOR
h. PRIOR TO THIS MEETING, MARK ALL TREES AND PLANTS TO REMAIN AND OR BE REMOVED AS DESCRIBED IN THIS SPECIFICATION FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE.

1.13 QUALITY ASSURANCE

- A. CONTRACTOR QUALIFICATIONS:
1. ALL PRUNING, BRANCH THE BACK, TREE REMOVAL, ROOT PRUNING, AND FERTILIZING REQUIRED BY THIS SECTION SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST. SUBMIT AFOREMENTIONED INDIVIDUALS' QUALIFICATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE.
2. ALL APPLICATIONS OF PESTICIDE OR HERBICIDE SHALL BE PERFORMED BY A PERSON MAINTAINING A CURRENT STATE LICENSE TO APPLY CHEMICAL PESTICIDES VALID IN THE JURISDICTION OF THE PROJECT. SUBMIT COPIES OF ALL REQUIRED STATE LICENSING CERTIFICATES INCLUDING APPLICABLE CHEMICAL APPLICATOR LICENSES.

PART 2 PRODUCTS

2.1 TREE PROTECTION SIGN

- A. HEAVY-DUTY PLASTIC LAMINATED OR CORRUGATED PLASTIC SIGNS, 24 INCHES X 36 INCHES, WHITE COLORED BACKGROUND WITH BLACK 2 INCH HIGH OR LARGER LETTERS BLOCK LETTERS. THE SIGNS SHALL BE STAKED ADJACENT TO EXISTING TREES. THE TREE PROTECTION SIGN SHALL READ "KEEP OUT - TREE AND PLANT PROTECTION AREA" AND OTHER PROJECT INFORMATION AS SHOWN ON DRAWINGS.

2.2 MATTING

- A. MATTING FOR VEHICLE AND WORK PROTECTION SHALL BE HEAVY DUTY MATTING DESIGNED FOR VEHICLE LOADING OVER TREE ROOTS. ALTURMATS AS MANUFACTURED BY ALTURMATS, INC. FRANKLIN, PA 16323 OR APPROVED EQUAL.
B. SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL.

2.3 GEOGRID

- A. GEOGRID SHALL BE WOVEN POLYESTER FABRIC WITH PVC COATING, UNI-AXIAL OR BIAXIAL GEOGRID, INERT TO BIOLOGICAL DEGRADATION, RESISTANT TO NATURALLY OCCURRING CHEMICALS, ALKALIS, ACIDS.
1. GEOGRID SHALL BE MIRAGRID 2XT AS MANUFACTURED BY TEN CATE NICOLON, NORCROSS, GA. HTTP://WWW.TENCATE.COM OR APPROVED EQUAL.
B. SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL.

2.4 FILTER FABRIC

- A. FILTER FABRIC SHALL BE NONWOVEN POLYPROPYLENE FIBERS, INERT TO BIOLOGICAL DEGRADATION AND RESISTANT TO NATURALLY OCCURRING CHEMICALS, ALKALIS AND ACIDS.
1. MIFAR 135 N AS MANUFACTURED BY TEN CATE NICOLON, NORCROSS, GA. HTTP://WWW.TENCATE.COM OR APPROVED EQUAL.
B. SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL.

PART 3 EXECUTION

3.1 SITE EXAMINATION

- A. EXAMINE THE SITE, TREE, PLANT AND SOIL CONDITIONS. NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING OF ANY CONDITIONS THAT MAY IMPACT THE SUCCESSFUL TREE AND PLANT PROTECTIONS THAT IS THE INTENT OF THIS SECTION.

3.2 COORDINATION WITH PROJECT WORK

- A. THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER WORK THAT MAY IMPACT THE COMPLETION OF THE WORK.
B. PRIOR TO THE START OF WORK, PREPARE A DETAILED SCHEDULE OF THE WORK FOR COORDINATION WITH OTHER TRADES. COORDINATE THE RELOCATION OF ANY IRRIGATION LINES CURRENTLY PRESENT ON THE IRRIGATION PLAN, HEADS OR THE CONDUTS OF OTHER UTILITY LINES OR STRUCTURES THAT ARE IN CONFLICT WITH TREE LOCATIONS. TREE ROOTS SHALL NOT BE ALTERED TO FIT AROUND LINES. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS ENCOUNTERED.

3.3 TREE AND PLANT PROTECTION AREA

- A. THE TREE AND PLANT PROTECTION AREA IS DEFINED AS ALL AREAS INDICATED ON THE TREE PROTECTION PLAN.
B. WHERE NO LIMIT OF THE TREE AND PLANT PROTECTION AREA IS DEFINED ON THE DRAWINGS, THE LIMIT SHALL BE THE DRIP LINE (OUTER EDGE OF THE BRANCH CROWN) OF EACH TREE.
C. PREPARATION
1. PRIOR TO THE PRECONSTRUCTION MEETING, LAYOUT THE LIMITS OF THE TREE AND PLANT PROTECTION AREA AND THEN ALIGNMENTS OF REQUIRED TREE AND PLANT PROTECTION FENCING AND ROOT PRUNING. OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF THE LIMITS OF THE PROTECTION AREA AND THE ALIGNMENT OF ALL FENCING AND ROOT PRUNING.
2. FLAG ALL TREES AND LARGE SHRUBS TO BE REMOVED BY WRAPPING ORANGE PLASTIC RIBBON AROUND THE TRUNK AND OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF ALL TREES AND LARGE SHRUBS TO BE REMOVED PRIOR TO THE START OF TREE AND SHRUB REMOVAL. AFTER APPROVAL, MARK ALL TREES AND SHRUBS TO BE REMOVED WITH ORANGE PAINT IN A BAND COMPLETELY AROUND THE BASE OF THE TREE OR LARGE SHRUB 4.5 FEET ABOVE THE GROUND.
3. FLAG ALL TREES AND LARGE SHRUBS TO REMAIN WITH WHITE PLASTIC RIBBON TIED COMPLETELY AROUND THE TRUNK OR EACH TREE AND ON A PROMINENT BRANCH FOR EACH SHRUB. OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF ALL TREES AND SHRUBS TO REMAIN PRIOR TO THE START OF TREE AND SHRUB REMOVAL.
D. PRIOR TO ANY CONSTRUCTION ACTIVITY AT THE SITE INCLUDING UTILITY WORK, GRADING, STORAGE OF MATERIALS, OR INSTALLATION OF TEMPORARY CONSTRUCTION FACILITIES, INSTALL ALL TREE PROTECTION FENCING, FILTER FABRIC, SILT FENCE, TREE PROTECTION SIGNS, GEOGRID, MULCH AND OR WOOD CHIPS AS SHOWN ON THE DRAWINGS.

3.4 SOIL MOISTURE

- A. VOLUMETRIC SOIL MOISTURE LEVEL, IN ALL SOILS WITHIN THE TREE AND PLANT PROTECTION AREA SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT TO A DEPTH OF AT LEAST 8 INCHES. NO SOIL WORK OR OTHER ACTIVITY SHALL BE PERMITTED WITHIN THE TREE AND PLANT PROTECTION AREA WHEN THE VOLUMETRIC SOIL MOISTURE IS ABOVE FIELD CAPACITY. THE PERMANENT WILT POINT AND FIELD CAPACITY FOR EACH TYPE OF SOIL TEXTURE SHALL BE DEFINED AS FOLLOWS (NUMBERS INDICATE PERCENTAGE VOLUMETRIC SOIL MOISTURE):

Table with 4 columns: SOIL TYPE, PERMANENT WILT POINT VV, FIELD CAPACITY VV, and a range of values for each soil type (e.g., SAND, LOAMY SAND, SANDY LOAM).

3.10 TREE REMOVAL:

Table with 4 columns: SOIL TYPE, PERMANENT WILT POINT VV, FIELD CAPACITY VV, and a range of values for each soil type (e.g., CLAY LOAM, SILT LOAM, SILTY CLAY, SILTY CLAY LOAM).

- A. REMOVE ALL TREES INDICATED BY THE DRAWINGS AND SPECIFICATIONS, AS REQUIRING REMOVAL, IN A MANNER THAT WILL NOT DAMAGE ADJACENT TREES OR STRUCTURES OR COMPACTS THE SOIL.
B. REMOVE TREES THAT ARE ADJACENT TO TREES OR STRUCTURES TO REMAIN, IN SECTIONS, TO LIMIT THE OPPORTUNITY OF DAMAGE TO ADJACENT GROWING, TRUNKS, GROUND PLANE ELEMENTS AND STRUCTURES.
C. DO NOT DROP TREES WITH A SINGLE CUT UNLESS THE TREE WILL FALL IN AN AREA NOT INCLUDED IN THE TREE AND PLANT PROTECTION AREA. NO TREE TO BE REMOVED WITHIN 50 FEET OF THE TREE AND PLANT PROTECTION AREA SHALL BE PUSHED OVER OR UP-ROOTED USING A PIECE OF GRADING EQUIPMENT.
D. PROTECT ADJACENT PAVING, SOIL, TREES, SHRUBS, GROUND COVER PLANTINGS AND UNDERSTORY PLANTS TO REMAIN FROM DAMAGE DURING ALL TREE REMOVAL OPERATIONS, AND FROM CONSTRUCTION OPERATIONS. PROTECTION SHALL INCLUDE THE ROOT SYSTEM, TRUNK, LIMBS, AND CROWN FROM BREAKAGE OR SCARRING, AND THE SOIL FROM COMPACTION.
E. REMOVE STUMPS AND IMMEDIATE ROOT PLATE FROM EXISTING TREES TO BE REMOVED. GRIND TRUNK BASES AND LARGE BUTTRISS ROOTS TO A DEPTH OF THE LARGEST BUTTRISS ROOT OR AT LEAST 18 INCHES BELOW THE TOP MOST ROOTS WHICH EVER IS LESS AND OVER THE AREA OF THREE TIMES THE DIAMETER OF THE TRUNK (DBH).
1. FOR TREES WHERE THE STUMP WILL FALL UNDER NEW PAVED AREAS, GRIND ROOTS TO A TOTAL DEPTH OF 18 INCHES BELOW THE EXISTING GRADE. IF THE SIDES OF THE STUMP HOLE STILL HAVE GREATER THAN APPROXIMATELY 20% WOOD VISIBLE, CONTINUE GRINDING OPERATION DEEPER AND OR WIDER UNTIL THE RESULTING HOLE HAS LESS THAN 20% WOOD. REMOVE ALL WOOD CHIPS PRODUCED BY THE GRINDING OPERATION AND BACK FILL IN 8 INCH LAYERS WITH CONTROLLED FILL OF A QUALITY ACCEPTABLE TO THE SITE ENGINEER FOR FILL MATERIAL UNDER STRUCTURES, COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY STANDARD PROCTOR. THE OWNER'S REPRESENTATIVE SHALL APPROVE EACH HOLE AT THE END OF THE GRINDING OPERATION.
2. IN AREAS WHERE THE TREE LOCATION IS TO BE A PLANTING BED OR LAWN, REMOVE ALL WOODCHIPS AND BACKFILL STUMP HOLES WITH PLANTING SOIL AS DEFINED IN THE SOIL MANAGEMENT SPECIFICATIONS, IN MAXIMUM OF 12 INCH LAYERS AND COMPACT TO 80 - 85% OF THE MAXIMUM DRY DENSITY STANDARD PROCTOR.

- 3.11 PRUNING:
A. WITHIN SIX MONTHS OF THE ESTIMATED DATE OF SUBSTANTIAL COMPLETION, PRUNE ALL DEAD OR HAZARDOUS BRANCHES LARGER THAN 2 INCH IN DIAMETER FROM ALL TREES TO REMAIN.
B. IMPLEMENT ALL PRUNING RECOMMENDATIONS FOUND IN THE ARBORIST REPORT.
C. PRUNE ANY LOW, HANGING BRANCHES AND VINES FROM EXISTING TREES AND SHRUBS THAT OVERHANG WALKS, STREETS AND DRIVES, OR PARKING AREAS AS FOLLOWS:
1. WALKS - WITHIN 8 FEET VERTICALLY OF THE PROPOSED WALK ELEVATION.
2. PARKING AREAS - WITHIN 12 FEET VERTICALLY OF THE PROPOSED PARKING SURFACE ELEVATION.
3. STREETS AND DRIVES - WITHIN 14 FEET VERTICALLY OF THE PROPOSED DRIVING SURFACE ELEVATION.
D. ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH ANSI A300 (PART 1 - PRUNING), ISA BMP: TREE PRUNING AND "STRUCTURAL PRUNING: A GUIDE FOR THE GREEN INDUSTRY."
E. PERFORM OTHER PRUNING TASK AS INDICATED ON THE DRAWINGS OR REQUESTED BY THE OWNER'S REPRESENTATIVE.
F. WHERE TREE SPECIFIC DISEASE VECTORS REQUIRED, STERILIZE ALL PRUNING TOOLS BETWEEN THE WORK IN INDIVIDUAL TREES.

- 3.12 WATERING
A. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO ENSURE THAT ADEQUATE WATER IS PROVIDED TO ALL PLANTS AND TREES TO BE PRESERVED DURING THE ENTIRE CONSTRUCTION PERIOD. ADEQUATE WATER IS DEFINED TO BE MAINTAINING SOIL MOISTURE ABOVE THE PERMANENT WILT POINT TO A DEPTH OF 8 INCHES OR GREATER.
B. THE CONTRACTOR SHALL ADJUST THE AUTOMATIC IRRIGATION SYSTEM, IF AVAILABLE, AND APPLY ADDITIONAL WATER, USING HOSES OR WATER TANKS AS REQUIRED.
C. PERIODICALLY TEST THE MOISTURE CONTENT IN THE SOIL WITHIN THE ROOT ZONE TO DETERMINE THE WATER CONTENT.
3.13 WEED REMOVAL
A. DURING THE CONSTRUCTION PERIOD, CONTROL ANY PLANTS THAT SEED IN AND AROUND THE FENCED TREE AND PLANT PROTECTION AREA AT LEAST THREE TIMES A YEAR.
1. ALL PLANTS THAT ARE NOT SHOWN ON THE PLANTING PLAN OR ON THE TREE AND PLANT PROTECTION PLAN TO REMAIN SHALL BE CONSIDERED AS WEEDS.
B. AT THE END OF THE CONSTRUCTION PERIOD PROVIDE ONE FINAL WEEDING OF THE TREE AND PLANT PROTECTION AREA.
3.14 INSECT AND DISEASE CONTROLLER
A. MONITOR ALL PLANTS TO REMAIN FOR DISEASE AND INSECT INFESTATIONS DURING THE ENTIRE CONSTRUCTION PERIOD. PROVIDE ALL DISEASE AND INSECT CONTROL TO KEEP THE PLANTS IN A HEALTHY STATE USING THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). ALL PESTICIDES SHALL BE APPLIED BY A CERTIFIED PESTICIDE APPLICATOR.

- 3.15 CLEAN-UP
A. DURING TREE AND PLANT PROTECTION WORK, KEEP THE SITE FREE OF TRASH, PAVEMENTS REASONABLY CLEAN AND WORK AREA IN AN ORDERLY CONDITION AT THE END OF EACH DAY. REMOVE TRASH AND DEBRIS IN CONTAINERS FROM THE SITE NO LESS THAN ONCE A WEEK.
1. IMMEDIATELY CLEAN UP ANY SPILLED OR TRACKED SOIL, FUEL, OIL, TRASH OR DEBRIS DEPOSITED BY THE CONTRACTOR FROM ALL SURFACES WITHIN THE PROJECT OR ON PUBLIC RIGHT OF WAY'S AND NEIGHBORING PROPERTY.
B. ONCE TREE PROTECTION WORK IS COMPLETE, WASH ALL SOIL FROM PAVEMENTS AND OTHER STRUCTURES. ENSURE THAT MULCH IS CONFINED TO PLANTING BEDS.
C. MAKE ALL REPAIRS TO GRADES, RUTS, AND DAMAGE TO THE WORK OR OTHER WORK AT THE SITE.
D. REMOVE AND DISPOSE OF ALL EXCESS MULCH, WOOD CHIPS, PACKAGING, AND OTHER MATERIAL BROUGHT TO THE SITE BY THE CONTRACTOR.

- 3.16 REMOVAL OF TREE AND PLANT PROTECTION
A. AT THE END OF THE CONSTRUCTION PERIOD OR WHEN REQUESTED BY THE OWNER'S REPRESENTATIVE REMOVE ALL FENCING, GEOGRIDS AND FILTER FABRIC, TRUNK PROTECTION AND OR ANY OTHER TREE AND PLANT PROTECTION MATERIAL.
3.17 DAMAGE OR LOSS TO EXISTING PLANTS TO REMAIN
A. ANY TREES OR PLANTS DESIGNATED TO REMAIN AND WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT THEIR OWN EXPENSE. TREES SHALL BE REPLACED WITH A TREE OF SIMILAR SPECIES AND 3 INCH CALIPER. SHRUBS SHALL BE REPLACED WITH A PLANT OF SIMILAR SPECIES AND EQUAL SIZE OR THE LARGEST SIZE PLANTS REASONABLY AVAILABLE WHICH EVER IS LESS. WHERE REPLACEMENT PLANTS ARE TO BE LESS THAN THE SIZE OF THE PLANT THAT IS DAMAGED, THE OWNER'S REPRESENTATIVE SHALL APPROVE THE SIZE AND QUALITY OF THE REPLACEMENT PLANT.
1. ALL TREES AND PLANTS SHALL BE INSTALLED PER THE REQUIREMENTS OF PLANTING SPECIFICATIONS. PLANTS THAT ARE DAMAGED SHALL BE CONSIDERED AS REQUIRING REPLACEMENT OR APPRAISAL IN THE EVENT THAT THE DAMAGE AFFECTS MORE THAN 25% OF THE CROWN, 25% OF THE TRUNK CIRCUMFERENCE, OR ROOT PROTECTION AREA, OR THE TREE IS DAMAGED IN SUCH A MANNER THAT THE TREE COULD DEVELOP INTO A POTENTIAL HAZARD. TREES AND SHRUBS TO BE REPLACED SHALL BE ENGAGED BY THE CONTRACTOR AT HIS OWN EXPENSE.
2. THE OWNER'S REPRESENTATIVE MAY ENGAGE AN INDEPENDENT CONSULTING ARBORIST TO ASSESS ANY TREE OR PLANT THAT APPEARS TO HAVE BEEN DAMAGED TO DETERMINE THEIR HEALTH OR CONDITION.
3. CONTRACTOR SHALL PAY ALL FINES AND MITIGATION COSTS ASSOCIATED WITH LOSS OF PROTECTED TREES DAMAGED BY CONTRACTORS' FORCES.
ANY TREE THAT IS DETERMINED TO BE DEAD, DAMAGED OR POTENTIALLY HAZARDOUS BY THE OWNER'S ARBORIST AND UPON THE REQUEST OF THE OWNER'S REPRESENTATIVE SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR AT AN ADDITIONAL EXPENSE TO THE OWNER. TREE REMOVAL SHALL INCLUDE ALL CLEAN UP OF ALL WOOD PARTS AND GRINDING OF THE STUMP TO A DEPTH SUFFICIENT TO PLANT THE REPLACEMENT TREE OR PLANT, REMOVAL OF ALL CHIPS FROM THE STUMP SITE AND FILLING THE RESULTING HOLE WITH TOPSOIL.
ANY REMEDIAL WORK ON DAMAGED EXISTING PLANTS RECOMMENDED BY THE CONSULTING ARBORIST SHALL BE COMPLETED BY THE CONTRACTOR AT NO COST TO THE OWNER. REMEDIAL WORK SHALL INCLUDE BUT IS NOT LIMITED TO: SOIL COMPACTION REMEDIATION AND VERTICAL MULCHING, PRUNING AND OR CABLING, INSECT AND DISEASE CONTROL INCLUDING INJECTIONS, COMPENSATORY WATERING, ADDITIONAL MULCHING, AND COULD INCLUDE APPLICATION TREE GROWTH REGULATORS (TGR).
REMEDIAL WORK MAY EXTEND UP TO TWO YEARS FOLLOWING THE COMPLETION OF CONSTRUCTION TO ALLOW FOR ANY REQUIREMENTS OF MULTIPLE APPLICATIONS OR THE NEED TO UNDERTAKE APPLICATIONS AT REQUIRED SEASONS OF THE YEAR.

- END OF SECTION 015639

- 3.18 GENERAL REQUIREMENTS AND LIMITATIONS FOR OPERATIONS WITHIN THE TREE AND PLANT PROTECTION AREA:
A. THE CONTRACTOR SHALL NOT ENGAGE IN ANY CONSTRUCTION ACTIVITY WITHIN THE TREE AND PLANT PROTECTION AREA WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE INCLUDING: OPERATING, MOVING OR STORING EQUIPMENT; STORING SUPPLIES OR MATERIALS; LOCATING TEMPORARY FACILITIES INCLUDING TRAILERS OR PORTABLE TOILETS AND SHALL NOT PERMIT EMPLOYEES TO TRAVEL THE AREA TO ACCESS ADJACENT AREAS OF THE PROJECT OR USE THE AREA ANY REASON, PERMITTED ACTIVITY, IF ANY, WITHIN THE TREE AND PLANT PROTECTION AREA MAY BE INDICATED ON THE DRAWINGS ALONG WITH ANY REQUIRED REMEDIAL ACTIVITY AS LISTED BELOW.
B. IN THE EVENT THAT CONSTRUCTION/VEHICULAR ACTIVITY IS UNAVOIDABLE WITHIN THE TREE AND PLANT PROTECTION AREA, NOTIFY THE OWNER'S REPRESENTATIVE AND SUBMIT A DETAILED WRITTEN PLAN OF ACTION FOR APPROVAL. THE PLAN SHALL INCLUDE: A STATEMENT DETAILING THE REASON FOR THE ACTIVITY INCLUDING WHY OTHER AREAS ARE NOT SUITED; A DESCRIPTION OF THE PROPOSED ACTIVITY; THE TIME PERIOD FOR THE ACTIVITY, AND A LIST OF REMEDIAL ACTIONS THAT WILL REDUCE THE IMPACT ON THE TREE AND PLANT PROTECTION AREA FROM THE ACTIVITY. TREE PROTECTION FOR THE REMEDIAL ACTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
1. IN GENERAL, DEMOLITION AND EXCAVATION WITHIN THE DRIP LINE OF TREES AND SHRUBS SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING AND OR AIR KNIFE EXCAVATION WHERE INDICATED OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS OR SOIL.
2. WHEN ENCOUNTERED, EXPOSED ROOTS, 1 INCHES AND LARGER IN DIAMETER SHALL BE WORKED AROUND IN A MANNER THAT DOES NOT BREAK THE OUTER LAYER OF THE ROOT SURFACE (BARK). THESE ROOTS SHALL BE COVERED IN MULCH AND SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT AT ALL TIMES. ROOTS ONE INCH AND LARGER IN DIAMETER SHALL NOT BE CUT WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE AND PROJECT ARBORIST. EXCAVATION SHALL BE TUNNELED UNDER THESE ROOTS WITHOUT CUTTING THEM IN THE AREAS WHERE ROOTS ARE ENCOUNTERED, WORK SHALL BE PERFORMED AND SCHEDULED TO CLOSE EXCAVATIONS AS QUICKLY AS POSSIBLE OVER EXPOSED ROOTS.
3. TREE BRANCHES THAT INTERFERE WITH THE CONSTRUCTION MAY BE TIED BACK OR PRUNED TO CLEAR ONLY TO THE POINT NECESSARY TO COMPLETE THE WORK. OTHER BRANCHES SHALL ONLY BE REMOVED WHEN SPECIFICALLY INDICATED BY THE OWNER'S REPRESENTATIVE. TYING BACK OR TRIMMING OF ALL BRANCHES AND THE CUTTING OF ROOTS SHALL BE IN ACCORDANCE WITH ARBORICULTURAL PRACTICES (ANSI A300, PARTS 1 AND 9) AND BE PERFORMED UNDER SUPERVISION OF THE I.S.A. CERTIFIED ARBORIST.
4. MATTING: INSTALL TEMPORARY MATTING OR AN ADDITIONAL 12 INCH MULCH LAYER OVER THE MULCH SPECIFIED HEREFOR WITH THESE SPECIFICATIONS TO THE EXTENT INDICATED. DO NOT PERMIT FOOT TRAFFIC, SCAFFOLDING, VEHICULAR TRAFFIC, OR THE STORAGE OF MATERIALS WITHIN THE TREE AND PLANT PROTECTION AREA TO OCCUR OFF OF THE TEMPORARY MATTING.
5. TRUNK PROTECTION: PROTECT THE TRUNK OF EACH TREE TO REMAIN BY COVERING IT WITH A CLOSED CELL FOAM PAD AND A RING OF 2" x 4" x 4" PLANKS LOOSELY BANDED ONTO THE TREE WITH 3 STEEL BANDS. STAPLE THE BANDS TO THE TRUNK AS NECESSARY TO HOLD THEM SECURELY IN PLACE. TRUNK PROTECTION SHALL BE KEPT IN PLACE NO LONGER THAN 12 MONTHS. IF CONSTRUCTION REQUIRES WORK NEAR A PARTICULAR TREE TO CONTINUE LONGER THAN 12 MONTHS, THE STEEL BANDS SHALL BE INSPECTED EVERY SIX MONTHS AND LOOSENED IF THEY ARE FOUND TO HAVE BECOME TIGHT.
6. AIR EXCAVATION TOOL: IF EXCAVATION FOR FOOTINGS OR UTILITIES IS REQUIRED WITHIN THE TREE AND PLANT PROTECTION AREA, AIR EXCAVATION TOOL TECHNIQUES SHALL BE USED WHERE PRACTICAL OR AS DESIGNED ON THE DRAWINGS.
a. REMOVE THE MULCH FROM AN AREA APPROXIMATELY 18 INCHES BEYOND THE LIMITS OF THE HOLE OR TRENCH TO BE EXCAVATED. COVER THE MULCH FOR A DISTANCE OF NOT LESS THAN 15 FEET AROUND THE LIMIT OF THE EXCAVATION AREA WITH FILTER FABRIC OR PLASTIC SHEETING TO PROTECT THE MULCH FROM SILT. MOUND THE MULCH SO THAT THE PLASTIC SLOPES TOWARDS THE EXCAVATION.
b. USING A SPRINKLER OR SOAKER HOSE, APPLY WATER SLOWLY TO THE AREA OF THE EXCAVATION FOR A PERIOD OF AT LEAST 4 HOURS, APPROXIMATELY 12 HOURS PRIOR TO THE WORK SO THAT THE GROUND WATER LEVEL IS AT OR NEAR FIELD CAPACITY AT THE BEGINNING OF THE WORK. FOR EXCAVATIONS THAT GO BEYOND THE DAMP SOIL, REWET THE SOIL AS NECESSARY TO KEEP SOIL MOISTURE NEAR FIELD CAPACITY.
c. USING AN AIR EXCAVATION TOOL SPECIFICALLY DESIGNED AND MANUFACTURED FOR THE INTENDED PURPOSE, AND AT PRESSURES RECOMMENDED BY THE MANUFACTURER OF THE EQUIPMENT, FRACTURE THE EXISTING SOIL TO THE SHAPE AND THE DEPTHS REQUIRED. WORK AT RATES AND USING TECHNIQUES THAT DO NOT HARM TREE GROUP. AIR PRESSURE SHALL BE A MAXIMUM OF 90-100 PSI.
1.) THE AIR EXCAVATION TOOL SHALL BE "AIR-SPADE" AS MANUFACTURED BY CONCEPT ENGINEERING GROUP, INC., VERONA, PA (412) 825-8800, OR AIR KNIFE AS MANUFACTURED BY EASY USE AIR TOOLS, INC. ALLISON PARK, PA (866) 328-5723 OR APPROVED EQUAL.
d. USING A COMMERCIAL, HIGH-POWERED VACUUM TRUCK IF REQUIRED, REMOVE THE SOIL FROM THE EXCAVATION PRODUCED BY THE AIR KNIFE EXCAVATION. THE VACUUM TRUCK SHOULD GENERALLY OPERATE SIMULTANEOUSLY WITH THE HOSE OPERATOR, SUCH THAT THE SOIL PRODUCED IS PICKED UP FROM THE EXCAVATION HOLE, AND THE EXPOSED ROOTS CAN BE OBSERVED AND NOT DAMAGED BY THE ONGOING OPERATION. DO NOT DRIVE THE VACUUM TRUCK INTO THE TREE AND PLANT PROTECTION AREA UNLESS THE AREA IS PROTECTED FROM COMPACTION AS APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE.
e. REMOVE ALL EXCAVATED SOIL AND EXCAVATED MULCH, AND CONTAMINATED SOIL AT THE END OF THE EXCAVATION.
f. SCHEDULE THE WORK SO THAT FOUNDATIONS OR UTILITY WORK IS COMPLETED IMMEDIATELY AFTER THE EXCAVATION. DO NOT LET THE ROOTS DRY OUT. MIST THE ROOTS SEVERAL TIMES DURING THE DAY. IF THE EXCAVATION AREA MUST REMAIN OPEN OVER NIGHT, MIST THE ROOTS AND COVER THE EXCAVATION WITH BLACK PLASTIC.
g. DISPOSE OF ALL SOIL IN A MANNER THAT MEETS LOCAL LAWS AND REGULATIONS.
h. RESTORE SOIL WITHIN THE TRENCH AS SOON AS THE WORK IS COMPLETED. UTILIZE SOIL OF SIMILAR TEXTURE TO THE REMOVED SOIL AND LIGHTLY COMPACT WITH HAND TOOLS. LEAVE SOIL MOUNDED OVER THE TRENCH TO A HEIGHT OF APPROXIMATELY 10% OF THE TRENCH DEPTH TO ACCOUNT FOR SETTLEMENT.
i. RESTORE ANY GEOGRIDS, FILTER FABRIC, OR MULCH AND OR MATTING THAT WAS PREVIOUSLY REQUIRED FOR THE AREA.

- 3.19 WEED REMOVAL
A. DURING THE CONSTRUCTION PERIOD, CONTROL ANY PLANTS THAT SEED IN AND AROUND THE FENCED TREE AND PLANT PROTECTION AREA AT LEAST THREE TIMES A YEAR.
1. ALL PLANTS THAT ARE NOT SHOWN ON THE PLANTING PLAN OR ON THE TREE AND PLANT PROTECTION PLAN TO REMAIN SHALL BE CONSIDERED AS WEEDS.
B. AT THE END OF THE CONSTRUCTION PERIOD PROVIDE ONE FINAL WEEDING OF THE TREE AND PLANT PROTECTION AREA.
3.20 INSECT AND DISEASE CONTROLLER
A. MONITOR ALL PLANTS TO REMAIN FOR DISEASE AND INSECT INFESTATIONS DURING THE ENTIRE CONSTRUCTION PERIOD. PROVIDE ALL DISEASE AND INSECT CONTROL TO KEEP THE PLANTS IN A HEALTHY STATE USING THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). ALL PESTICIDES SHALL BE APPLIED BY A CERTIFIED PESTICIDE APPLICATOR.

- 3.21 CLEAN-UP
A. DURING TREE AND PLANT PROTECTION WORK, KEEP THE SITE FREE OF TRASH, PAVEMENTS REASONABLY CLEAN AND WORK AREA IN AN ORDERLY CONDITION AT THE END OF EACH DAY. REMOVE TRASH AND DEBRIS IN CONTAINERS FROM THE SITE NO LESS THAN ONCE A WEEK.
1. IMMEDIATELY CLEAN UP ANY SPILLED OR TRACKED SOIL, FUEL, OIL, TRASH OR DEBRIS DEPOSITED BY THE CONTRACTOR FROM ALL SURFACES WITHIN THE PROJECT OR ON PUBLIC RIGHT OF WAY'S AND NEIGHBORING PROPERTY.
B. ONCE TREE PROTECTION WORK IS COMPLETE, WASH ALL SOIL FROM PAVEMENTS AND OTHER STRUCTURES. ENSURE THAT MULCH IS CONFINED TO PLANTING BEDS.
C. MAKE ALL REPAIRS TO GRADES, RUTS, AND DAMAGE TO THE WORK OR OTHER WORK AT THE SITE.
D. REMOVE AND DISPOSE OF ALL EXCESS MULCH, WOOD CHIPS, PACKAGING, AND OTHER MATERIAL BROUGHT TO THE SITE BY THE CONTRACTOR.

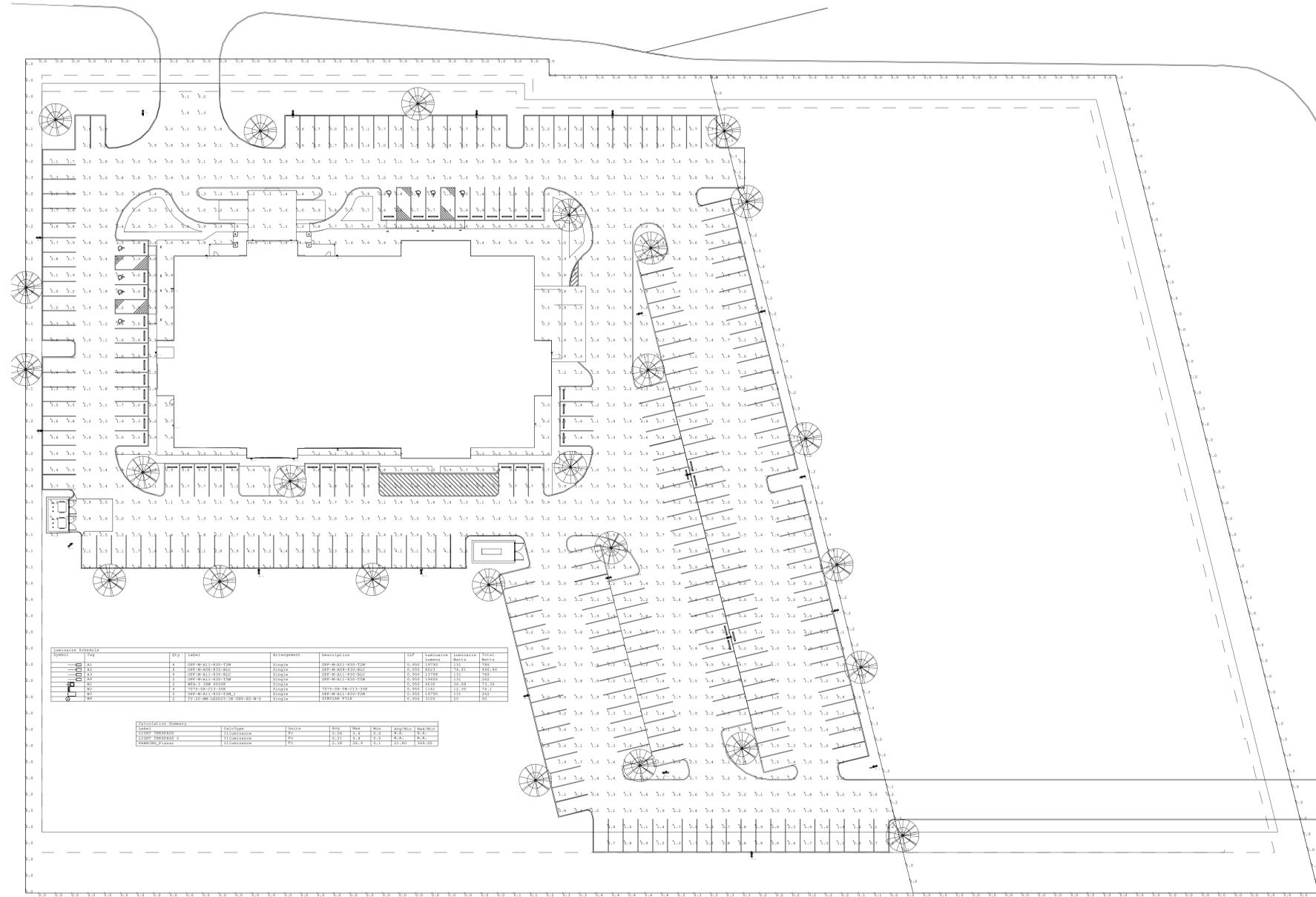
- 3.22 REMOVAL OF TREE AND PLANT PROTECTION
A. AT THE END OF THE CONSTRUCTION PERIOD OR WHEN REQUESTED BY THE OWNER'S REPRESENTATIVE REMOVE ALL FENCING, GEOGRIDS AND FILTER FABRIC, TRUNK PROTECTION AND OR ANY OTHER TREE AND PLANT PROTECTION MATERIAL.
3.23 DAMAGE OR LOSS TO EXISTING PLANTS TO REMAIN
A. ANY TREES OR PLANTS DESIGNATED TO REMAIN AND WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT THEIR OWN EXPENSE. TREES SHALL BE REPLACED WITH A TREE OF SIMILAR SPECIES AND 3 INCH CALIPER. SHRUBS SHALL BE REPLACED WITH A PLANT OF SIMILAR SPECIES AND EQUAL SIZE OR THE LARGEST SIZE PLANTS REASONABLY AVAILABLE WHICH EVER IS LESS. WHERE REPLACEMENT PLANTS ARE TO BE LESS THAN THE SIZE OF THE PLANT THAT IS DAMAGED, THE OWNER'S REPRESENTATIVE SHALL APPROVE THE SIZE AND QUALITY OF THE REPLACEMENT PLANT.
1. ALL TREES AND PLANTS SHALL BE INSTALLED PER THE REQUIREMENTS OF PLANTING SPECIFICATIONS. PLANTS THAT ARE DAMAGED SHALL BE CONSIDERED AS REQUIRING REPLACEMENT OR APPRAISAL IN THE EVENT THAT THE DAMAGE AFFECTS MORE THAN 25% OF THE CROWN, 25% OF THE TRUNK CIRCUMFERENCE, OR ROOT PROTECTION AREA, OR THE TREE IS DAMAGED IN SUCH A MANNER THAT THE TREE COULD DEVELOP INTO A POTENTIAL HAZARD. TREES AND SHRUBS TO BE REPLACED SHALL BE ENGAGED BY THE CONTRACTOR AT HIS OWN EXPENSE.
2. THE OWNER'S REPRESENTATIVE MAY ENGAGE AN INDEPENDENT CONSULTING ARBORIST TO ASSESS ANY TREE OR PLANT THAT APPEARS TO HAVE BEEN DAMAGED TO DETERMINE THEIR HEALTH OR CONDITION.
3. CONTRACTOR SHALL PAY ALL FINES AND MITIGATION COSTS ASSOCIATED WITH LOSS OF PROTECTED TREES DAMAGED BY CONTRACTORS' FORCES.
ANY TREE THAT IS DETERMINED TO BE DEAD, DAMAGED OR POTENTIALLY HAZARDOUS BY THE OWNER'S ARBORIST AND UPON THE REQUEST OF THE OWNER'S REPRESENTATIVE SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR AT AN ADDITIONAL EXPENSE TO THE OWNER. TREE REMOVAL SHALL INCLUDE ALL CLEAN UP OF ALL WOOD PARTS AND GRINDING OF THE STUMP TO A DEPTH SUFFICIENT TO PLANT THE REPLACEMENT TREE OR PLANT, REMOVAL OF ALL CHIPS FROM THE STUMP SITE AND FILLING THE RESULTING HOLE WITH TOPSOIL.
ANY REMEDIAL WORK ON DAMAGED EXISTING PLANTS RECOMMENDED BY THE CONSULTING ARBORIST SHALL BE COMPLETED BY THE CONTRACTOR AT NO COST TO THE OWNER. REMEDIAL WORK SHALL INCLUDE BUT IS NOT LIMITED TO: SOIL COMPACTION REMEDIATION AND VERTICAL MULCHING, PRUNING AND OR CABLING, INSECT AND DISEASE CONTROL INCLUDING INJECTIONS, COMPENSATORY WATERING, ADDITIONAL MULCHING, AND COULD INCLUDE APPLICATION TREE GROWTH REGULATORS (TGR).
REMEDIAL WORK MAY EXTEND UP TO TWO YEARS FOLLOWING THE COMPLETION OF CONSTRUCTION TO ALLOW FOR ANY REQUIREMENTS OF MULTIPLE APPLICATIONS OR THE NEED TO UNDERTAKE APPLICATIONS AT REQUIRED SEASONS OF THE YEAR.

- END OF SECTION 015639

- 3.24 GENERAL REQUIREMENTS AND LIMITATIONS FOR OPERATIONS WITHIN THE TREE AND PLANT PROTECTION AREA:
A. THE CONTRACTOR SHALL NOT ENGAGE IN ANY CONSTRUCTION ACTIVITY WITHIN THE TREE AND PLANT PROTECTION AREA WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE INCLUDING: OPERATING, MOVING OR STORING EQUIPMENT; STORING SUPPLIES OR MATERIALS; LOCATING TEMPORARY FACILITIES INCLUDING TRAILERS OR PORTABLE TOILETS AND SHALL NOT PERMIT EMPLOYEES TO TRAVEL THE AREA TO ACCESS ADJACENT AREAS OF THE PROJECT OR USE THE AREA ANY REASON, PERMITTED ACTIVITY, IF ANY, WITHIN THE TREE AND PLANT PROTECTION AREA MAY BE INDICATED ON THE DRAWINGS ALONG WITH ANY REQUIRED REMEDIAL ACTIVITY AS LISTED BELOW.
B. IN THE EVENT THAT CONSTRUCTION/VEHIC

STATE HIGHWAY 205

STATE HIGHWAY 276



NOTES

- POLE LIGHTS ARE 20 FEET OR LESS IN HEIGHT WHEN 100 FEET OR LESS FROM RESIDENTIAL DISTRICT.
- FULL CUTOFF LIGHTS ARE REQUIRED TO BE SHIELDED FROM A POINT 5 FEET ABOVE PROPERTY LINES.
- MAXIMUM LIGHT LEVEL AT RESIDENTIAL PROPERTY LINE IS 0.25 FOOT CANDLE.



SI #: 24115

VUE REALTY GROUP, LLC.
ROCKWALL MOB

STATE HIGHWAY 205 AND STATE HIGHWAY 276 BYPASS
ROCKWALL, TEXAS

SEAL:



STUDIO INDIGO DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS

DATE	#	DESCRIPTION
------	---	-------------

1 PHOTOMETRICS
1/32" = 1'-0"

DATE: 2025.5.1

DRAWN BY: BCE

ELECTRICAL SITE
PLAN -
PHOTOMETRICS

DRAWING NUMBER:

ES101

SCALE: AS INDICATED



PROJECT COMMENTS



CITY OF ROCKWALL
 385 S. GOLIAD STREET
 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-7700

DATE: 5/22/2025

PROJECT NUMBER: SP2025-020
 PROJECT NAME: Amended Site Plan for HG Supply
 SITE ADDRESS/LOCATIONS: 2651 SUNSET RIDGE DR

CASE CAPTION: Discuss and consider a request by Cameron Slown of Teague, Nall, and Perkins, Inc. on behalf of Elias Pope for the approval of an Amended Site Plan for a Restaurant Without a Drive-Through on a 0.90-acre parcel of land identified as Lot 5, Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32) [Ordinance No. 17-22], situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southeast corner of the intersection of the IH-30 Frontage Road and Sunset Ridge Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	05/22/2025	Approved w/ Comments

05/22/2025: SP2025-020; Site Plan for HG Supply
 Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Cameron Slown of Teague, Nall, and Perkins, Inc. on behalf of Elias Pope for the approval of an Amended Site Plan for a Restaurant Without a Drive-Through on a 0.90-acre parcel of land identified as Lot 5, Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32) [Ordinance No. 17-22], situated within the IH-30 Overlay (IH-30 OV) District, and generally located at the southeast corner of the intersection of the IH-30 Frontage Road and Sunset Ridge Drive.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2025-020) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 The current site plan shows a parking deficiency of 37 parking spaces. The applicant will need to work with the adjacent property owner to determine if a shared parking agreement can be facilitated. This will require a variance from the Planning and Zoning Commission.

I.5 Please note that failure to address all comments provided by staff by 3:00 PM on May 20, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.6 Please note the scheduled meetings for this case:

(1) Planning & Zoning meeting/public hearing meeting will be held on May 27, 2025.

I.7 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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ENGINEERING	Madelyn Price	05/22/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	05/22/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/20/2025	Needs Review
05/20/2025: For buildings 30 feet or more in height, the fire lane shall have a minimum interior turning radius of 30 feet.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/19/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/19/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/19/2025	Approved w/ Comments
05/19/2025: Landscape plans submittal?			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2651 Sunset Ridge Drive, Rockwall, TX 75032

SUBDIVISION Harbor District

LOT 7 BLOCK A

GENERAL LOCATION Interstate 30 and Sunset Ridge Drive

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE N/A

PROPOSED ZONING PD-32

PROPOSED USE Restaurant

ACREAGE 0.9

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

Teague, Nall and Perkins, Inc.

CONTACT PERSON Elias Pope

CONTACT PERSON Cameron Slown

ADDRESS 2010 Greenville Ave
Suite D

ADDRESS 825 Watters Creek Blvd.
Suite M300

CITY, STATE & ZIP Dallas, TX 75206

CITY, STATE & ZIP Allen, TX 75013

PHONE 732-887-9699

PHONE 817-889-5050

E-MAIL elias@unco.com

E-MAIL cslown@tnpinc.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Elias Pope [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

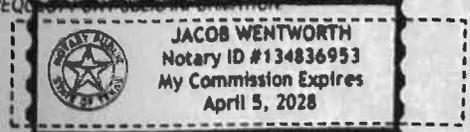
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT. AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____ 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF 05 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

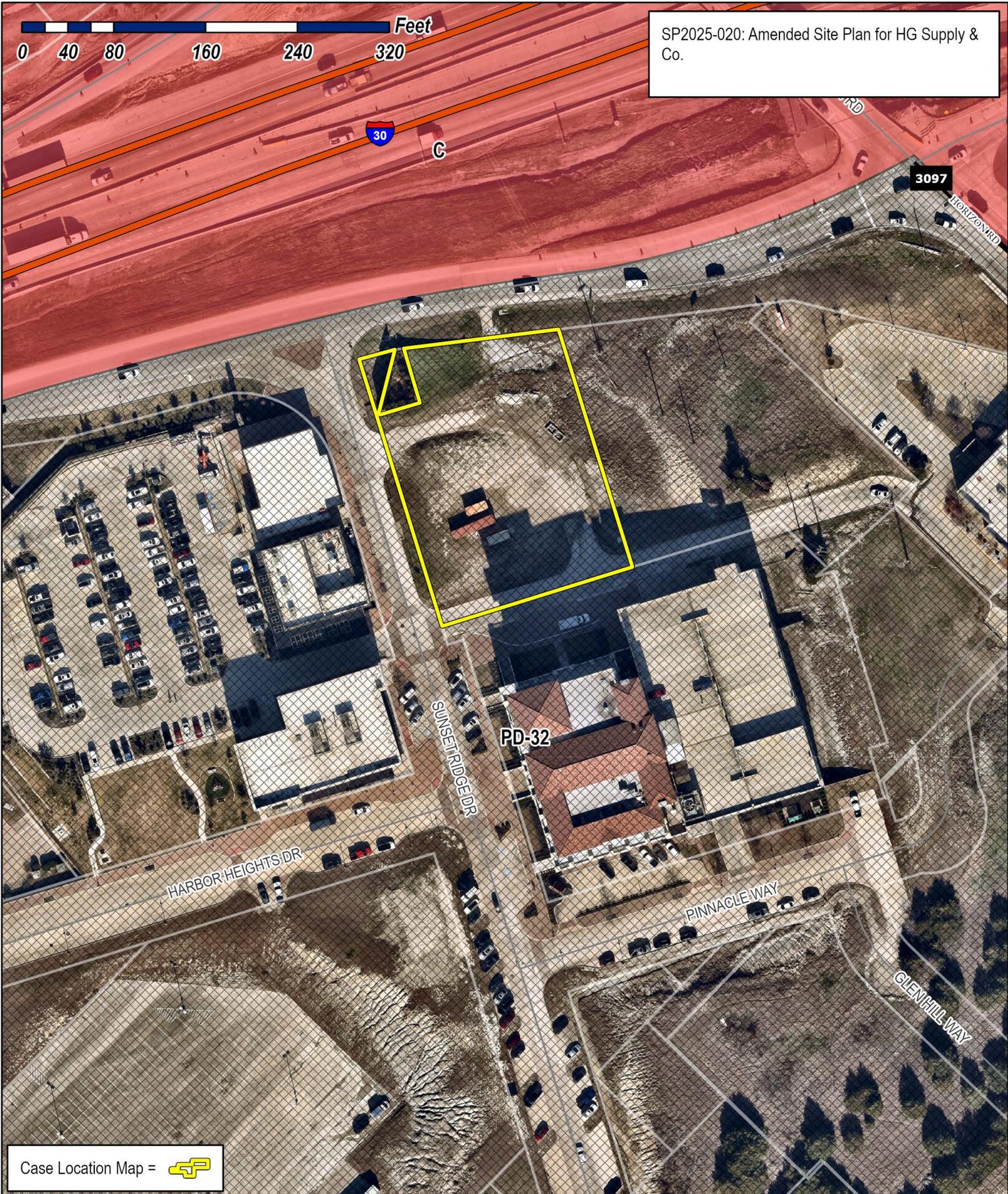
[Signature]
David Jacob Wentworth



MY COMMISSION EXPIRES 04/05/2028

0 40 80 160 240 320 Feet

SP2025-020: Amended Site Plan for HG Supply & Co.



Case Location Map = 

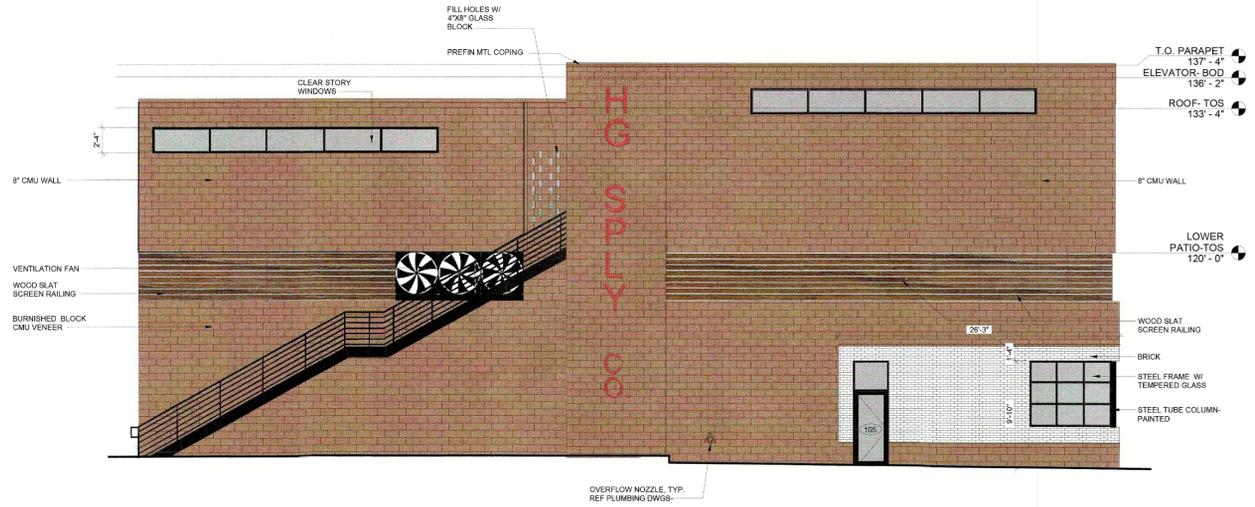


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





NORTH ELEVATION

1

EAST ELEVATION

2

1/8" = 1'-0"

1/8" = 1'-0"

TOTAL BUILDING WALL HARD SURFACE= 2,371 SF
 TOTAL BURNISHED BLOCK = 1395 SF=58.8%
 TOTAL GLAZED TILE = 539 SF= 22.8%
 TOTAL WOOD SCREEN = 335 SF= 14.1%
 TOTAL METAL PANELS = NA
 TOTAL PTD WALLS = 102 SF= 4.3%

TOTAL ELEVATION WALL HARD SURFACE: 2,292 SF
 TOTAL BURNISHED BLOCK: 1,172 SF 51.1%
 TOTAL GLAZED TILE: 531.5 SF 23.2%
 TOTAL WOOD SCREEN: 465.5 SF 20.3%
 TOTAL PTD WALLS: 123 SF 5.4%

PROJECT NO. : 2121
 DATE : 4/22/2025
 DRAWN BY : Author
 SCALE : AS NOTED

REVISIONS :

ELEVATIONS

HG SPLY
 2651 SUNSET RIDGE DR.
 ROCKWALL, TX 75032

P101



WEST ELEVATION

3

SOUTH ELEVATION

4

1/8" = 1'-0"

1/8" = 1'-0"

TOTAL BUILDING WALL HARD SURFACE: 1557 SF
 TOTAL BURNISHED BLOCK: 890 SF 57.2%
 TOTAL GLAZED TILE: 231 SF 14.8%
 TOTAL WOOD SCREEN: 388 SF 25%
 TOTAL METAL PANELS: 48 SF 3%
 TOTAL PTD WALLS: - SF

TOTAL BUILDING WALL HARD SURFACE: 1,971 SF
 TOTAL BURNISHED BLOCK: 955 SF 48.5%
 TOTAL GLAZED TILE: 376 SF 19.1%
 TOTAL WOOD SCREEN: 459 SF 23.3%
 TOTAL METAL PANELS: 129 SF 6.5%
 TOTAL PTD WALLS: 52 SF 2.6%

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the ____ day of _____, 2025.
 Witness our hands this ____ day of _____, 2025.

 Planning & Zoning Commission, Chairman

 Director of Planning & Zoning

CASE NUMBER: SP2025-005

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/23/2025

PROJECT NUMBER: SP2025-021
PROJECT NAME: Site Plan for Fuel City
SITE ADDRESS/LOCATIONS: 490 S JOHN KING BLVD

CASE CAPTION: Discuss and consider a request by Jared Earney of Kimley-Horn on behalf of Joseph Bickham of Fuel City for a Site Plan for a Retail Store with Gasoline Sales on a 4.34-acre tract of land identified as a portion of Tract 3 and all of Tract 4-06 of the N. Butler Survey, Abstract 20, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the northwest corner of the intersection of Airport Road and John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	05/23/2025	Needs Review

05/23/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Retail Store with Gasoline Sales on a 4.34-acre tract of land identified as a portion of Tract 3 and all of Tract 4-06 of the N. Butler Survey, Abstract 20, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the northwest corner of the intersection of Airport Road and John King Boulevard.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2025-021) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be plat in order to establish easements and establish new lot lines.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Please provide a noise study for the car wash tunnel and the vacuum equipment. The Planning and Zoning Commission will want to ensure conformance to the City noise requirements. These requirements can be found within the City of Rockwall Municipal Code of Ordinances.

M.7 Site Plan.

- (1) Please include the total lot area, in acreage and square feet, within the site data table. (Subsection 03.04. B, of Article 11, UDC)
- (2) Please indicate the location of the vacuum equipment. (Subsection 01.06, of Article 05, UDC)
- (3) Fuel vents must be incorporated into the fuel canopy. (Subsection 02.03, of Article 04, UDC)
- (4) Please indicate the building setback along both street frontages. The front building setbacks are 15-feet. (Subsection 03.04.B, of Article 11, UDC)
- (5) Please indicate the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11, UDC)
- (6) The ten (10) foot sidewalk along John King Boulevard should meander. (Subsection 06.02, of Article 05, UDC)
- (7) Please include all of the proposed land uses within the parking table and indicate their required parking. (Subsection 05.01, of Article 06, UDC)
- (8) Please remove all signage from the site plan and building elevations. Signage is done through separate permits with the Building Inspections Department. (Subsection 06.02. F, of Article 05, UDC)
- (9) Please indicate any existing or proposed fencing. Please delineate the location and provide the material and height. (Subsection 08.02. F, of Article 08, UDC)
- (10) All roof mounted equipment must be crosshatched on the building elevations. This equipment must be fully screened. (Subsection 01.05.C, of Article 05, UDC)
- (11) All pad mounted equipment must be shown on the site plan. This equipment must be screened with five (5) gallon evergreen shrubs, which should be shown on the landscape plan. (Subsection 01.05.C, of Article 05, UDC)
- (12) Please provide a note that there shall no above ground storage tanks or outside storage, which includes vehicles. (Subsection 01.05. B, of Article 05, UDC)
- (13) Please provide a detail of the dumpster enclosure. In addition, the dumpster enclosure must be a minimum of eight (8) feet in height and use the same materials as the building. (Subsection 01.05. B, of Article 05, UDC)
- (14) All of the structures (i.e. C-Store, Fuel Canopy, Car Wash, Vacuum Bays) must be 150-feet from a residentially zoned or used property. Staff should note, that based on the zoning change that incorporated the northern portion of the subject property, it appears a portion of this property was left out of this request. The entire property must be shown and a remainder tract will not be permitted. (Subsection 01.06, of Article 05, UDC)
- (15) The OURHometown Vision 2040 Comprehensive Plan describes and depicts a Corner Enhancement Concept, where the purpose is to provide additional hardscape and landscape elements at intersections along John King Boulevard. Staff would recommend incorporating this element into the proposed project; doing so could be considered a compensatory measure. Please see the attached supplementary image from the comprehensive plan depicting a Corner Enhancement. (Appendix B, OURHometown Vision 2040 Comprehensive Plan)

M.8 Landscape Plan.

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) A 20-foot residential adjacency buffer is required adjacent to the Agriculturally zoned property. Within this buffer either (1) a masonry wall with canopy trees on 20-foot centers, or (2) three (3) tiered landscaping must be provided. In addition, staff suggests a berm within this buffer. This will further attenuate any noise from the car wash and vacuum bays; this can also serve as a compensatory measure. (Subsection 05.01. B, of Article 08, UDC)
- (3) No parking, paving, or structures may be located within any landscape buffers; however, driveway approaches are permitted. (Subsection 05.01, of Article 08, UDC)
- (4) Any parking spaces that face onto a roadway must provide five (5) gallon evergreen shrubs in front of them to serve as headlight screening. (Subsection 05.02, of Article 08, UDC)
- (5) Please incorporate a legend on the Overall Landscape Plan that includes the icons utilized for the plantings. (Subsection 05.05. B, of Article 08, UDC)
- (6) Please delineate and label the sidewalks along John King Boulevard and Airport Road. (Subsection 05.01, of Article 08, UDC)
- (7) All shrubs shall be five (5) gallon. In addition, the landscape buffers along John King Boulevard and Airport Road must incorporate a shrub row. (Subsection 05.05. B, of Article 08, UDC)
- (8) Please delineate and label the landscape buffers along John King Boulevard and Airport Road. The landscape buffers are 25-feet. (Subsection 05.01, of Article 08, UDC)
- (9) Please delineate the required berms within the landscape buffers along John King Boulevard and Airport Road. (Subsection 06.02, of Article 05, UDC)
- (10) Vitex is not a permitted accent tree within the landscape buffers. Please propose a different accent tree species. (Appendix C, UDC)
- (11) Additional landscaping shall be provided in front of the car wash tunnel exist and along the entrance and exit driveways for the car wash. This is to reduce the headlight glare from impacting the adjacent properties, especially the adjacent future residential. The landscaping should take the form of evergreen shrubs and accent trees. (Subsection 05.02, of Article 08, UDC)
- (12) Please verify that all of the parking spaces are within 80-feet of a canopy tree. Specifically, it appears that not all of the parking in front of the C-Store meet this requirement. (Subsection 05.03. E, of Article 08, UDC)
- (13) The OURHometown Vision 2040 Comprehensive Plan indicates that this property should utilize a "Woodland Bottoms" landscape scheme. Woodland Bottoms can be described as "planting arrangements should be tight, informally grouped masses of native and adapted riparian canopy and understory trees designed to emulate the character of

the creek vegetation. These tree masses are to be set in native ornamental grasses to minimize the need for maintenance.” Emulating this design would meet a Roadway Enhancement Concept described in our Comprehensive Plan; doing so could be considered a compensatory measure. (Appendix B, OURHometown Vision 2040 Comprehensive Plan)

(14) Please include a note that the irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08, UDC)

M.9 Treescap Plan

(1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)

(2) Per the landscape plan, 244 caliper inches of canopy trees will be planted on site. With a total mitigation balance of 883.5 inches, this is reduced to 639.5 based on the canopy trees planted. Accent trees do not count against the mitigation balance. Per the Unified Development Code (UDC), 80% of the mitigation balance must be planted on site. Given that only 27.62% are being planted on site, an Alternative Tree Mitigation Settlement Agreement must be requested; this requires approval from the City Council. With this you would be requesting to pay the remaining balance for a fee of \$63,950.00. (Section 05, of Article 09, UDC)

M.10 Photometric Plan

(1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)

(2) Light levels shall not be greater than 0.2 FC at all property lines. Please correct the photometric plan to address this requirement. (Subsection 03.03, of Article 07, UDC)

(3) Understand that if the under-canopy lighting is being done by others, it will be reviewed at the time of building permit. In addition, the building permit will not be released until the UDC standards are met. (Subsection 03.03, of Article 07, UDC)

(4) Please provide the cut sheets for all of the proposed light fixtures. (Subsection 03.03, of Article 07, UDC)

M.11 Building Elevations

(1) Please verify the directional for the building elevations. Specifically, the elevations for the C-Store appear to be mislabeled. (Subsection 03.04. A, of Article 11, UDC)

(2) Please review the C-Store building elevations against the footprint on the site plan. Based on the shadow lines, they do not appear to match. (Subsection 03.04. A, of Article 11, UDC)

(3) There appear to be two (2) different canopies in addition to the fuel canopy. Specifically, there is a canopy mislabeled as the Monument Sign. Please clarify what this is being used for. (Subsection 03.04. A, of Article 11, UDC)

(4) Please delineate the fuel vents on the canopy elevations. (Subsection 02.03, of Article 04, UDC)

(5) Nichiha is not a permitted building material within the Overlay Districts. (Subsection 06.02. C, of Article 05, UDC)

(6) Cementitious materials may not exceed more than 50% on a façade. In this case, the multiple façades utilized greater than 50% cementitious materials. This will be a Variance. (Subsection 06.02.C, of Article 05, UDC)

(7) Natural or quarried stone must be utilized on at least 20% on each façade. In this case, stone is not being proposed. This will be a Variance. (Subsection 06.02.C, of Article 05, UDC)

(8) Please indicate the material percentages for all structures (i.e. the gas canopy, vacuum bay canopies, vacuum equipment building). (Subsection 04.01, of Article 05, UDC)

(9) Please indicate that the backside of the parapet must be finished in the same material as the exterior facing façade. In addition, all parapet systems must be enclosed. (Subsection 06.02, of Article 05, UDC)

(10) Provide a detail/elevation of the vacuum equipment and any associated structure. (Subsection 04.01, of Article 05, UDC)

(11) Please indicate the building height and the parapet height. (Subsection 04.01 of Article 05, UDC)

(12) Please crosshatch the RTUs on the elevations. The RTUs must be fully screened by the parapet. Please pay attention to this due the building being lower than the road. (Subsection 01.05.C, of Article 05, UDC)

(13) The proposed building does not meet the four (4) sided architecture requirements. This requires the same “materials, detailing, articulation and features” on each façade. In this case the primary articulation requirements must be met on each side of the buildings, and the same architectural detail and features must be provided on each side of the buildings. (Subsection 06.02, of Article 05, UDC)

(14) Please indicate the architectural elements on each building. Each building is required to incorporate four (4) architectural elements. (Subsection 06.02, of Article 05, UDC)

(15) The proposed C-Store and Car Wash building do not meet the majority of the Primary Articulation requirements. Please review the articulation diagram within the General Commercial District Standards within the Unified Development Code (UDC). Specifically, the C-Store does not meet items 2, 4, 5, & 6 in the diagram, and the Car Wash does not meet items 2-7 in the diagram. These will be Variances. (Subsection 06.02, of Article 05, UDC)

M.12 At this time, based on the materials submitted, staff has identified several changes to the site, landscape, photometric, and building design that require changes. Any required changes that are not made will be an exception/variance. These exceptions/variances must be approved by the Planning and Zoning Commission.

M.13 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures. For every requested exception or variance, two (2) compensatory measures must be provided.

I.14 Please note that failure to address all comments provided by staff by 3:00 PM on June 3, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.15 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/work session meeting will be held on May 27, 2025.
- (2) Planning & Zoning meeting/public hearing meeting will be held on June 10, 2025.

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	05/22/2025	Approved w/ Comments

- 05/22/2025:
1. Show off site sewer on site plan. All existing and proposed utilities are to be shown on site plan
 2. 20' minimum
 3. What is this 80'x27' area? What about the 18'x15' area? Label what the intent is for these areas.
 4. A detention easement will be required for all detention areas, even underground detention.
 5. Keep in mind you will not be able to plant trees on top of this underground detention area.
 6. This the public water main. Remove meter and backflow.
 7. Dumpster areas, fuel canopy areas, and car wash areas shall drain to an oil/water separator and then into the storm drainage system.
 8. Please keep in mind that no trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger. Also, required landscape berms may not be on top of City utilities. Make sure you are giving yourself enough space to be able to install the required 16" main and meet all of your landscape requirements.
 9. Detention easement required.
 10. Sanitary sewer, storm sewer, and water main must all have minimum 10' separation between the. Water main to be a minimum 20' easement.
 11. Due to these lines capturing offsite water and flowing through site, drainage easement required. 20' minimum.
 12. a detention easement will be required for all detention areas, even underground detention.
 13. Min 20' water easement for all hydrants.
 14. Why not come off the public main for private water service here and have meter within one larger water easement? You are running your private line very far.
 15. This the public water main. Remove meter and backflow preventer.
 16. Please keep in mind that no trees to be with 5' of any public water, sewer, or storm line that is less than 10". Also, required landscape berms may not be on top of City utilities. Make sure you are giving yourself enough space to be able to keep the required separation from the existing 8" main and meet all of your landscape requirements.
 17. Driveway spacing from intersection is minimum 200'.
 18. 16" water main needs to cross Airport to connect to existing 16".
 19. Please keep in mind that no trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger. Also, required landscape berms may not be on top of City utilities. Make sure you are giving yourself enough space to be able to install the required 16" main and meet all of your landscape requirements.
 20. Keep all proposed trees outside of 20' water easement for all hydrants.

General Comments:

General Items:

- Must meet City's 2023 Standards of Design and Construction Manual

- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required for the removal of any existing trees on site.
- No structures or fences with easements.
- All utilities must be underground.
- Must meet City driveway spacing requirements.
- Additional comments may be provided at time of Engineering.

Drainage Items:

- Detention is required. No vertical walls are allowed in detention easement. Max side slope of 4:1 with a minimum bottom slope of 1%.
- No public water or sanitary sewer can be in detention easement.
- Detention ponds must be irrigated.
- Existing flow patterns must be maintained. The site must drain to the east side of the property and back towards the Squabble Creek floodplain area.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- Dumpster areas, fuel canopy areas, and car wash areas shall drain to an oil/water separator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must install 16" water line across entire property along John King and tie to ex. 16" water on the south side of Airport Road.
- There is currently no existing sewer mains at the property available for use. 8" and 10" Sewer must drain to sewer system in Park Hills Subdivision which will require off-site easements.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.

Roadway Paving Items:

- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed)
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- All drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum. Call out radius.
- Fire lane (if needed) to be in a platted easement.
- 5' Sidewalk required along Airport Road.
- 10' trail along John King to be installed

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape berms may not be on top of City utilities.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	05/22/2025	Approved w/ Comments

05/22/2025: * Dumpster enclosure to have a drain and a oil/water separator before discharging to the Storm water line
 * Monument sign doesn't meet the design standards of the Sign Ordinance. See attached documents and requirements. Also, the monument sign will need to be a minimum of 10 feet from any property line, 60 feet from any other free standing sign, and can't be located within any easements

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/20/2025	Approved w/ Comments

05/20/2025: The FDC shall be facing and visible from the fire lane.
 The FDC must be within 100 feet of a fire hydrant and 50 feet of the fire lane.
 The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/19/2025	Approved w/ Comments

05/19/2025: Address will be: 490 S JOHN KING BLVD, ROCKWALL, TX 75087

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/19/2025	Approved w/ Comments

05/19/2025: 1. Tree Mitigation approved
 2. Landscape Plan
 Turfgrass varieties?
 All parking spaces must be within 80' of tree canopy
 Detention pond landscape calculations needed

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This public water main. Remove meter and backflow.

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**SITE PLAN FOR
FUEL CITY - ROCKWALL
LOT 2, BLOCK A
CORNERSTONE COMMUNITY CHURCH ADDITION**
4.34 ACRES
N. BUTLER SURVEY ABSTRACT NO. 20
City of Rockwall, Rockwall County, Texas
Current Zoning: C (Commerical District)
Proposed Land Use: Gas Station/ Car Wash
Submitted: May 16th, 2025

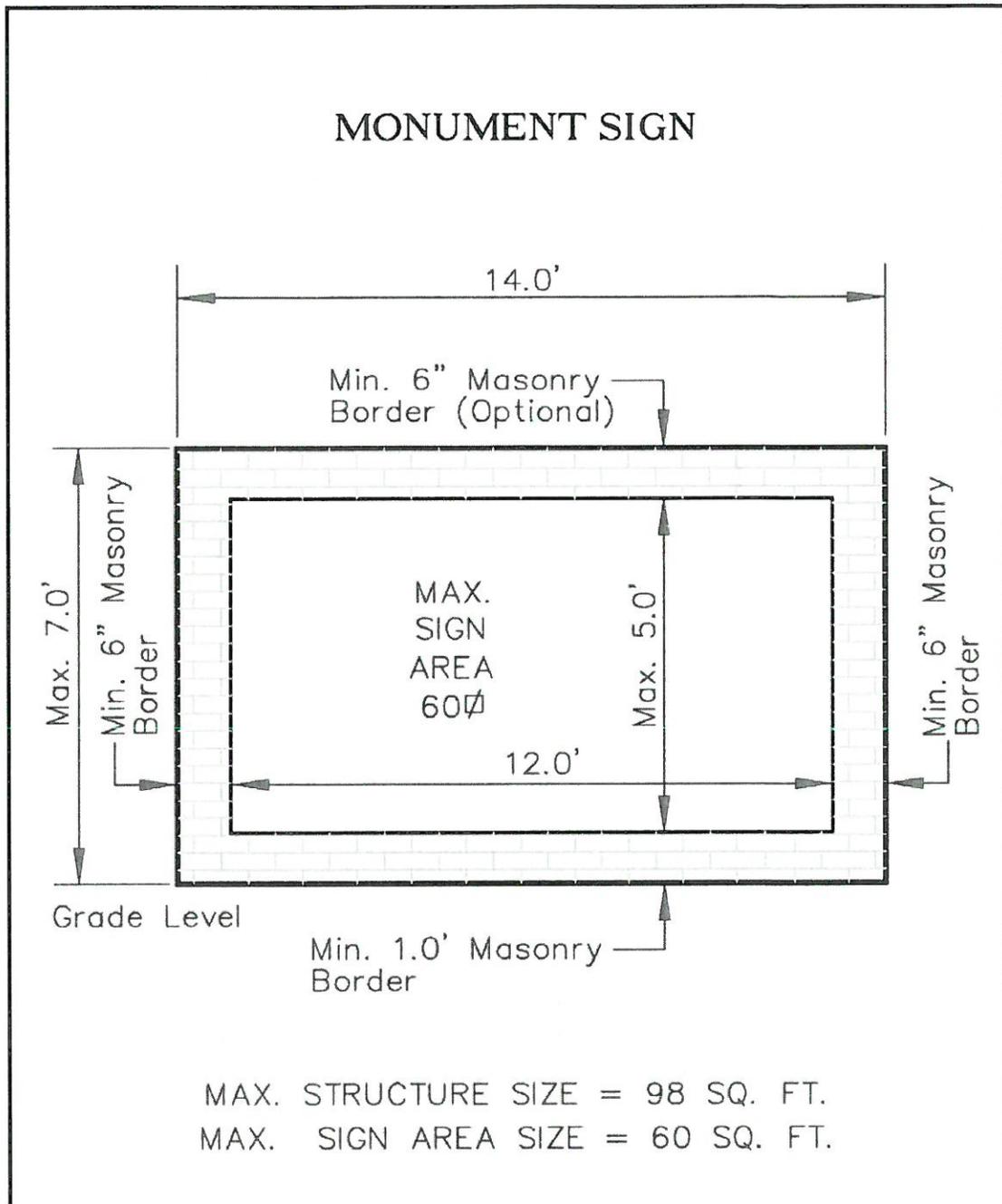
Architect: Carroll Architects
750 E. Interstate 30, Ste. 110
Rockwall, Texas 75087
Contact: Glennon Langston
Phone: 972-732-6085

Developer: Fuel City
801 S. Riverfront Boulevard, 00
Dallas, Texas 75207
Contact: Joseph Bickham
Phone: 469-203-0159

Engineer: Kimley-Horn and Associates, Inc.
225 E. John W. Carpenter FWY,
Suite 1100
Irving, Texas 75062
Contact: Jared Earney, P.E.
Phone: 214-420-5600

SITE PLAN SIGNATURE BLOCK
APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.
WITNESS OUR HANDS, THIS ____ DAY OF ____.
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

XREF: 1000, XREF: 1001, XREF: 1002, XREF: 1003, XREF: 1004, XREF: 1005, XREF: 1006, XREF: 1007, XREF: 1008, XREF: 1009, XREF: 1010, XREF: 1011, XREF: 1012, XREF: 1013, XREF: 1014, XREF: 1015, XREF: 1016, XREF: 1017, XREF: 1018, XREF: 1019, XREF: 1020, XREF: 1021, XREF: 1022, XREF: 1023, XREF: 1024, XREF: 1025, XREF: 1026, XREF: 1027, XREF: 1028, XREF: 1029, XREF: 1030, XREF: 1031, XREF: 1032, XREF: 1033, XREF: 1034, XREF: 1035, XREF: 1036, XREF: 1037, XREF: 1038, XREF: 1039, XREF: 1040, XREF: 1041, XREF: 1042, XREF: 1043, XREF: 1044, XREF: 1045, XREF: 1046, XREF: 1047, XREF: 1048, XREF: 1049, XREF: 1050, XREF: 1051, XREF: 1052, XREF: 1053, XREF: 1054, XREF: 1055, XREF: 1056, XREF: 1057, XREF: 1058, XREF: 1059, XREF: 1060, XREF: 1061, XREF: 1062, XREF: 1063, XREF: 1064, XREF: 1065, XREF: 1066, XREF: 1067, XREF: 1068, XREF: 1069, XREF: 1070, XREF: 1071, XREF: 1072, XREF: 1073, XREF: 1074, XREF: 1075, XREF: 1076, XREF: 1077, XREF: 1078, XREF: 1079, XREF: 1080, XREF: 1081, XREF: 1082, 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Sec. 32-304. - Monument signs.

Unless otherwise specifically provided, the regulations set forth in this division shall be applicable to all monument signs which are allowed under this chapter.

(1) All monument signs shall be limited to a maximum height of seven feet and a total structure size of 98 square feet. The maximum size for the sign area is 60 square feet with a maximum height of five feet. Every monument sign shall be required to have a minimum one-foot masonry base, measured from grade level to the bottom of the sign area. Every monument sign shall be required to have a minimum six-inch masonry border on each side of the sign area. A minimum six-inch masonry cap is allowed above the sign area, however, it is not required. If, the masonry cap option is not chosen, the maximum height of the sign structure shall be limited to six feet. All monument signs will require engineer-sealed drawings.

(2) Building materials and colors utilized for construction of monument bases, side borders, caps, and sign frames shall be constructed of the same materials found on the main building on the lot, unless otherwise approved by the city council.

(3) If the proposed sign is to be constructed on a lot with an existing building which does not contain a masonry facade, the materials used for the monument base, side borders and cap must be stone or brick.

Monument Sign

Standards

1. Sign does not exceed 7' in height and total structure sf of 98sf.

Meets requirement _____ Does not meet requirement _____

2. Maximum size of the sign area is 60sf and maximum height of 5'

Meets requirement _____ Does not meet requirement _____

3. Sign must have a 1' masonry base measured from grade and a 6" masonry border on each side of the sign.

Meets requirement _____ Does not meet requirement _____

4. Sign is allowed an additional 6" masonry cap but not required, however if not used the maximum height of the sign is 6'

Meets requirement _____ Does not meet requirement _____

5. Sign must be setback from all property lines a minimum of 10' and 60' away from all other signs.

Meets requirement _____ Does not meet requirement _____

Permit Requirements

Layout

1. Provide design and pictures to scale showing the layout, height, size and distance from the ground of the sign.
2. Provide a site plan and/or plat to scale showing all right of way, easements, property lines and lot dimensions.
3. Identify on site plan the proposed location of the pole sign. Showing all distances from property lines.
 - A. All freestanding signs must be 30' from adjoining property lines with 200 feet of frontage.
 - B. 20 feet from adjoining property lines with 100' but less than 200'
 - C. 10 feet from adjoining property lines with 100' or less
 - D. And 60' from any other freestanding sign.
 - E. Lots less than 100' on a two-lane road must utilize a monument sign.
 - F. Only 1 sign allowed unless you have 7 acres or more along IH30 and 5 acres or more along all other roads.
4. All monument signs must have engineered sealed drawings.

Electrical

1. Provide type of lighting
2. Show disconnect location
3. Show the location of the power supply / transformer
4. Provide wire size
5. Provide circuit ampacity
6. Provide Voltage

An addition: All signs must be provide with the following, they shall have displayed in a conspicuous place. In letters not less than 1" inch in height, the date of erection, the permit number, the voltage of any electrical apparatus used, and the sign erectors name, address, and license number.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION **A0020 N Butler, Tract 4-06**

LOT

BLOCK

GENERAL LOCATION **Northwest of John Kind Blvd and Airport Rd**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial District (C)**

CURRENT USE **N/A**

PROPOSED ZONING **Commercial District (C)**

PROPOSED USE **Gas Station/ Car Wash**

ACREAGE **4.34 acres**

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Fuel City**

APPLICANT **Kimley-Horn**

CONTACT PERSON **Joseph Bickham**

CONTACT PERSON **Jared Earney**

ADDRESS

ADDRESS **225 E. John W. Carpenter FWY, Ste 1100**

CITY, STATE & ZIP

CITY, STATE & ZIP **Irving, TX 75062**

PHONE **469-203-0159**

PHONE **817-900-8528**

E-MAIL **jbickham@fuelcity.com**

E-MAIL **jared.earney@kimley-horn.com**

NOTARY VERIFICATION [REQUIRED]

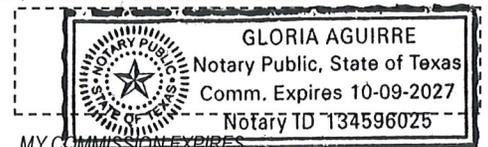
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Joseph Bickham [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION: ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 350.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF May, 2025 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF May, 2025.

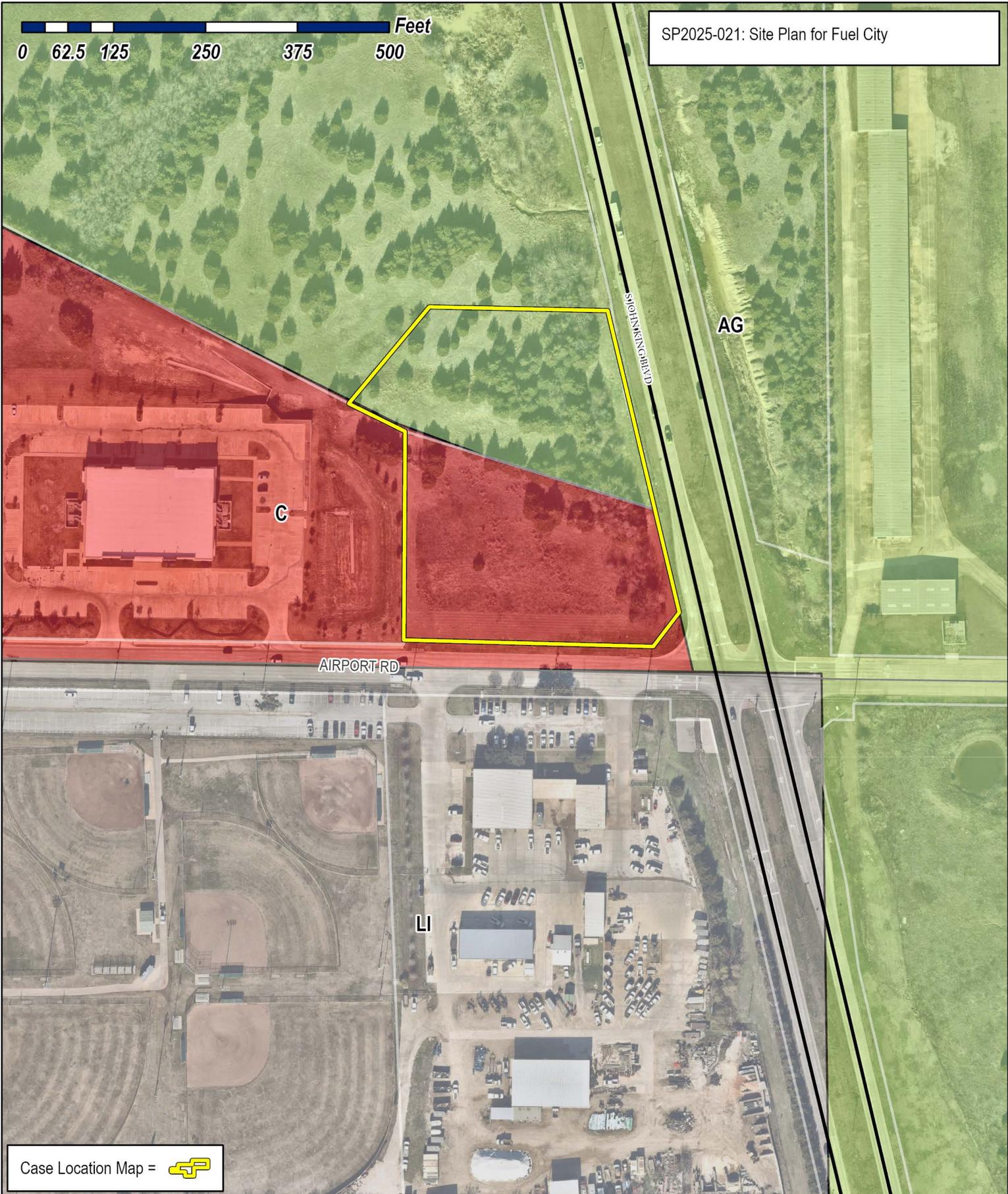
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 62.5 125 250 375 500 Feet

SP2025-021: Site Plan for Fuel City



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



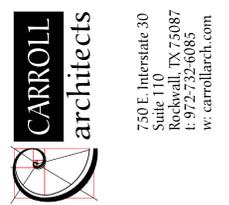


1 MONUMENT SIGN FRONT ELEVATION
NTS

ISSUE:
OWNER REVIEW: 05-15-2025

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FUEL CITY
Rockwall, Texas 75087



MONUMENT SIGN
ELEVATION

DATE: MAY 2025 SHEET NO:
PROJECT NO: 2024074
DRAWN BY: GL
CHECKED BY:

A501

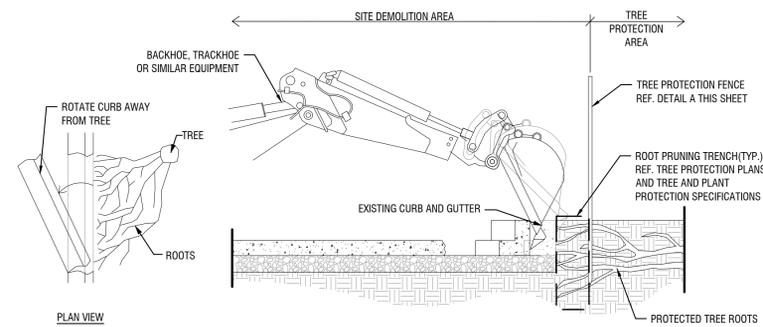
TAG#	DBH	COMMON NAME	SCIENTIFIC NAME	CONDITION	MULTIPLE-STEMMED	PROTECT OR REMOVE	MITIGATION REQUIRED (IN)
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1553	6.1	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1554	13.1	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Multi	Remove	4
1555	8.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1556	6.1	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1557	8.7	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Multi	Remove	4
1558	4.5	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
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1563	6.2	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1564	12.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Multi	Remove	4
1565	5.1	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1566	4.1	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1567	6.0	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1568	6.2	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1569	5.1	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1570	6.2	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
1571	6.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1572	5.9	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1573	8.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1574	6.7	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
1575	7.1	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1576	5.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1577	9.9	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Multi	Remove	4
1578	14.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Multi	Remove	4
1579	7.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
1580	5.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
1581	6.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1582	10.0	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
1583	6.5	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1584	6.2	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
1585	5.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1586	4.5	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Multi	Remove	4
1595	8.6	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1596	6.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1597	5.7	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1598	11.2	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
1599	7.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Multi	Remove	4
1600	6.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Multi	Remove	4
1601	5.0	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
Tags 1602-7900 were not used.							
7901	9.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7902	6.0	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7903	7.1	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7904	6.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7905	10.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7906	14.7	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
7907	8.5	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7908	14.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
7909	6.1	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7910	7.9	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7911	8.7	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7912	5.7	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7913	16.6	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Multi	Remove	4
7914	8.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
7915	6.7	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7916	6.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7917	14.2	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Multi	Remove	4
7918	8.5	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7919	7.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7920	5.9	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7921	6.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7922	10.2	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7923	12.5	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
7924	13.5	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
7925	8.7	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7926	7.6	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7927	7.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7928	5.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7929	8.7	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7930	7.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7931	4.2	chittamwood	<i>Sideroxylon lanuginosum</i>	Healthy (5)	Single	Remove	4.2
7932	7.1	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
7933	9.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7934	14.2	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7935	8.9	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7936	16.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Multi	Remove	4
7937	7.5	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
7938	5.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7939	6.7	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7940	6.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7941	8.1	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
7942	6.0	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7943	7.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7944	6.9	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7945	6.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7946	8.5	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
7947	6.1	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7948	6.5	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7949	8.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
7950	11.9	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
Tags 7951-8200 were not used.							
8204	5.5	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8205	7.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
8209	4.1	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8210	7.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8211	5.6	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8212	11.2	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
8213	4.1	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8214	5.5	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8215	5.0	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8216	6.0	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8217	5.6	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8218	6.7	hackberry	<i>Celtis laevigata</i>	Declining (1)	Single	Remove	0
8219	5.6	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4

8220	5.5	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8221	6.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8222	24.2	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Multi	Remove	4
8223	5.5	American elm	<i>Ulmus americana</i>	Healthy (5)	Single	Remove	5.5'
8224	24.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
8225	12.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8226	10.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8227	5.1	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8228	9.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
8229	6.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8230	5.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8231	11.2	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8232	4.2	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8233	6.1	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8234	10.6	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8235	12.0	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8236	7.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8237	5.2	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8238	5.8	American elm	<i>Ulmus americana</i>	Healthy (5)	Single	Remove	5.8
8239	5.0	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8240	4.0	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8241	9.1	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8242	4.3	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8243	22.7	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Multi	Remove	4
8244	7.1	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8245	14.3	American elm	<i>Ulmus americana</i>	Healthy (5)	Forked	Remove	14.3
8246	9.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8247	7.4	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8248	6.5	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Forked	Remove	4
8249	5.4	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8250	5.0	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8251	5.3	American elm	<i>Ulmus americana</i>	Healthy (5)	Single	Remove	5.3
8252	5.2	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8253	4.1	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8254	4.4	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Forked	Remove	0
8255	6.2	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Multi	Remove	0
8256	11.8	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Multi	Remove	0
8257	8.8	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8258	6.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8259	6.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8260	5.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8261	9.8	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8262	9.5	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8263	4.4	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8264	6.1	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8265	6.1	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8266	5.1	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8267	6.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8268	7.5	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8269	5.3	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8270	8.2	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8271	6.3	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8272	8.6	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8273	5.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8274	17.2	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8275	10.2	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Single	Remove	0
8276	13.8	hackberry	<i>Celtis laevigata</i>	Healthy (5)	Forked	Remove	0
8277	7.8	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8278	5.9	eastern redcedar	<i>Juniperus virginiana</i>	Healthy (5)	Single	Remove	4
8279	5.1	eastern redcedar					

IMAGES: MONROE, BIRNBOIM 5/10/2025 1:25 PM
 LAST BY: 5/10/2025 1:27 PM
 PLOTTED BY: 5/10/2025 1:27 PM
 DWG NAME: L:\310\DWG\1\310\310 TREE PRESERVATION\DETAILS.rvt
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, and shall be without liability to Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

- DEMOLITION SEQUENCE:**
1. PERFORM ANY ROOT PRUNING.
 2. INSTALL TREE PROTECTION FENCING.
 3. BREAK OR CUT 6" SECTIONS OF CURB.
 4. CAREFULLY ROTATE CURB SECTIONS AWAY FROM ROOTS.
 5. COORDINATE ALL DEMOLITION OPERATIONS AROUND PROTECTED TREES WITH ENGINEER AND PROJECT ARBORIST.

- NOTES:**
1. PRIOR TO DEMOLITION ACTIVITIES, COORDINATE WITH OWNER'S REPRESENTATIVE.
 2. ALL TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION ACTIVITIES.
 3. OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR DEMOLITION ACTIVITIES PRIOR TO CONSTRUCTION.

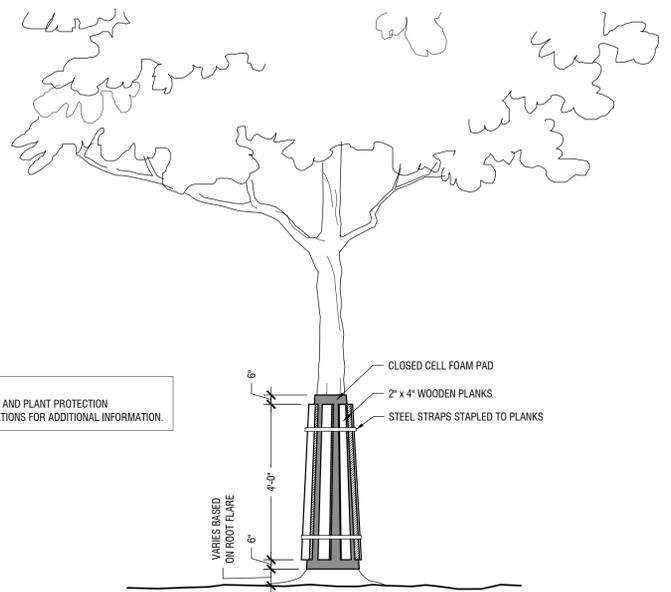


CURB DEMOLITION AROUND EXISTING TREE ROOTS

Scale: NTS

F

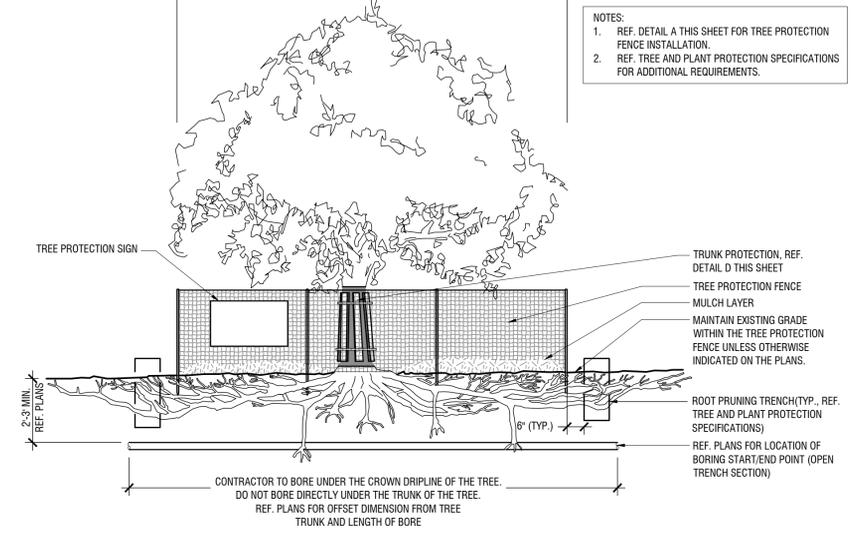
- NOTES:**
1. REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL INFORMATION.



TRUNK PROTECTION

Scale: NTS

D



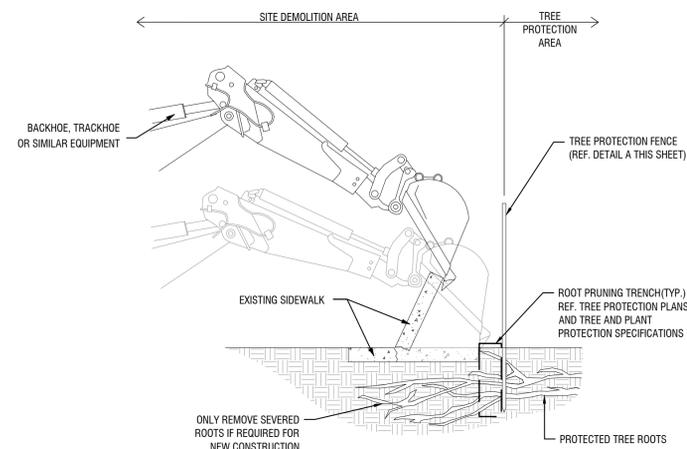
TREE PROTECTION - UTILITY BORING UNDER CROWN DRIPLINE

Scale: NTS

B

- DEMOLITION SEQUENCE:**
1. PERFORM ANY ROOT PRUNING.
 2. INSTALL TREE PROTECTION FENCING.
 3. CAREFULLY REMOVE SIDEWALK AND BASE MATERIAL, COORDINATE ALL DEMOLITION OPERATIONS AROUND PROTECTED TREES WITH ENGINEER AND PROJECT ARBORIST.

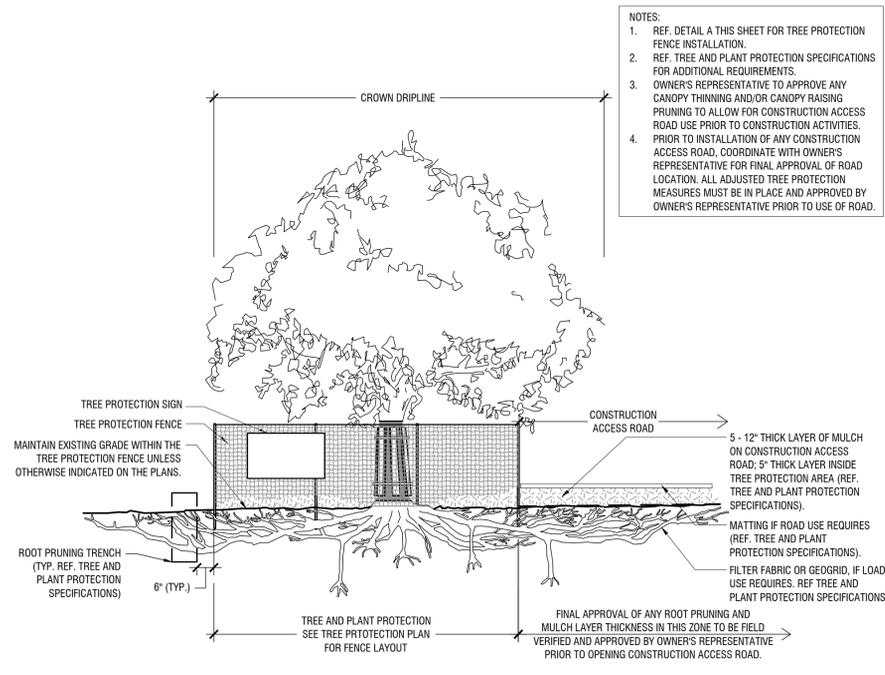
- NOTES:**
1. PRIOR TO DEMOLITION ACTIVITIES, COORDINATE WITH OWNER'S REPRESENTATIVE.
 2. ALL TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION ACTIVITIES.
 3. OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR DEMOLITION ACTIVITIES PRIOR TO CONSTRUCTION.



SIDEWALK DEMOLITION AROUND EXISTING TREE ROOTS

Scale: NTS

E



TREE PROTECTION - CONSTRUCTION ACCESS ROAD

Scale: NTS

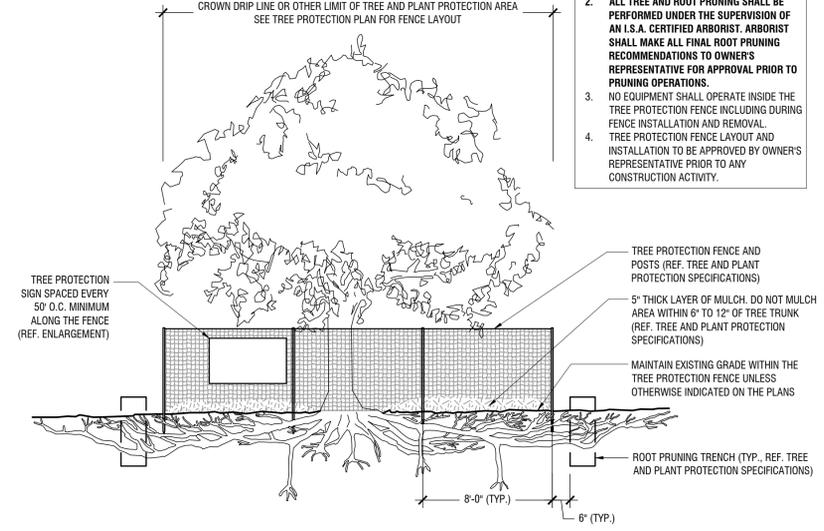
C

TREE PROTECTION SIGN ENLARGEMENT

KEEP OUT TREE PROTECTION AREA NO ENTRY	ZONA DE PROTECCION PARA ARBOLES NO ENTRE
NO HEAVY EQUIPMENT NO STORAGE NO TRUCKS NO TRAILERS	NO EQUIPAMIENTO NO ALMACENAR NO MACHINARIA NO TRACTORES NO SEMICARRILES
PROJECT ARBORIST PHONE #	ARBORESTA DEL PROYECTO TELEFONO #
GENERAL CONTRACTOR PHONE #	PROYECTO GENERAL TELEFONO #

NOTE: CONTRACTOR TO PROVIDE PHONE NUMBER INFORMATION.

- NOTES:**
1. REF. DETAIL A THIS SHEET FOR TREE PROTECTION FENCE INSTALLATION.
 2. REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 3. OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR CONSTRUCTION ACCESS ROAD USE PRIOR TO CONSTRUCTION ACTIVITIES.
 4. PRIOR TO INSTALLATION OF ANY CONSTRUCTION ACCESS ROAD, COORDINATE WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL OF ROAD LOCATION. ALL ADJUSTED TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO USE OF ROAD.



TYPICAL TREE PROTECTION FENCING

Scale: NTS

A

**SITE PLAN FOR
 FUEL CITY - ROCKWALL
 LOT 2, BLOCK A
 CORNERSTONE COMMUNITY CHURCH
 4.34 ACRES
 N. BUTLER SURVEY ABSTRACT NO. 20
 City of Rockwall, Rockwall County, Texas
 Current Zoning: C (Commerical District)
 Proposed Land Use: Gas Station/ Car Wash
 Submitted: May 16th, 2025**

CAUTION
 EXISTING UNDERGROUND UTILITIES: CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO ANY TRENCHING OR EXCAVATION.

811
 Know what's below.
 Call before you dig.

Architect: Corroll Architects
 750 E. Interstate 30, Ste. 110
 Rockwall, Texas 75087
 Contact: Glennon Langston
 Phone: 972-732-6085

Developer: Fuel City
 801 S. Riverfront Boulevard, 00
 Dallas, Texas 75207
 Contact: Joseph Blockham
 Phone: 469-203-0159

Engineer: Kimley-Horn and Associates, Inc.
 225 E. John W. Carpenter FWY,
 Suite 1100
 Irving, Texas 75062
 Contact: Jared Earmey, P.E.
 Phone: 214-420-3630

NO.	REVISIONS	DATE

Kimley-Horn
 13455 NOEL RD. TWO GALLERIA OFFICE TOWER
 SUITE 700 DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
 WWW.KIMLEY-HORN.COM TX F-928
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Kimley-Horn
 FOR REVIEW ONLY
 Not for construction or permit purposes.
 P.L.A. No. 3454 Date: 5/15/2025

KHA PROJECT	064454302
DATE	MAY 2025
SCALE	AS SHOWN
DESIGNED BY	PNA
DRAWN BY	PNA
CHECKED BY	NBA

FUEL CITY - ROCKWALL
 ROCKWALL, TEXAS, 75087

**TREE PRESERVATION
 DETAILS**
 SHEET NUMBER
TP 3.01

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SECTION 015639: TREE AND PLANT PROTECTION

PART 1 GENERAL

1.1 SUMMARY

- A. THE SCOPE OF WORK INCLUDES ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, FACILITIES, TRANSPORTATION AND SERVICES NECESSARY FOR AND INCLUDING, BUT NOT LIMITED TO, PERFORMING ALL OPERATIONS IN CONNECTION WITH PROTECTION OF EXISTING TREES AND OTHER PLANTS AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
 1. PROVIDE PRECONSTRUCTION EVALUATIONS
 2. PROVIDE PROTECTION OF ROOT ZONES AND ABOVE GROUND TREES AND PLANTS
 3. PROVIDE PRUNING OF EXISTING TREES AND PLANTS.
 4. COORDINATE WITH THE REQUIREMENTS OF THE SPECIFICATIONS FOR MODIFICATIONS TO THE SOIL WITHIN THE ROOT ZONE OF EXISTING TREES AND PLANTS.
 5. PROVIDE ALL INSECT AND DISEASE CONTROL.
 6. PROVIDE MAINTENANCE OF EXISTING TREES AND PLANTS INCLUDING IRRIGATION DURING THE CONSTRUCTION PERIOD AS RECOMMENDED BY THE ARBORIST REPORT.
 7. PROVIDE MAINTENANCE OF EXISTING TREES AND PLANTS INCLUDING IRRIGATION DURING THE POST CONSTRUCTION PLANT MAINTENANCE PERIOD.
 8. REMOVE TREE PROTECTION FROM AROUND AND UNDER TREES AND PLANTS.
 9. CLEAN UP AND DISPOSAL OF ALL EXCESS AND SURPLUS MATERIAL.

1.2 CONTRACT DOCUMENTS

- A. SHALL CONSIST OF SPECIFICATIONS AND GENERAL CONDITIONS AND THE DRAWINGS, THE INTENT OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, AND SERVICES NECESSARY FOR THE PROPER EXECUTION OF THE WORK. THE DOCUMENTS ARE TO BE CONSIDERED AS ONE. WHATEVER IS CALLED FOR BY ANY PARTS SHALL BE AS BINDING AS IF CALLED FOR IN ALL PARTS.
- B. IT IS THE INTENT OF THIS SECTION THAT THE REQUIREMENTS APPLY TO ALL OTHER SECTIONS OF THE PROJECT SPECIFICATION SUCH THAT ANY SUBCONTRACTOR MUST COMPLY WITH THE RESTRICTIONS ON WORK WITHIN DESIGNATED TREE AND PLANT PROTECTION AREAS.

1.3 RELATED DOCUMENTS AND REFERENCES

- A. RELATED DOCUMENTS:
 1. DRAWINGS AND GENERAL PROVISIONS OF CONTRACT INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION I SPECIFICATIONS APPLY TO WORK OF THIS SECTION.
 2. IRRIGATION SPECIFICATIONS
 3. PLANTING SPECIFICATIONS
- B. REFERENCES: THE FOLLOWING SPECIFICATIONS AND STANDARDS OF THE ORGANIZATIONS AND DOCUMENTS LISTED IN THIS PARAGRAPH FORM A PART OF THE SPECIFICATION TO THE EXTENT REQUIRED BY THE REFERENCES THERETO. IN THE EVENT THAT THE REQUIREMENTS OF THE FOLLOWING REFERENCED STANDARDS AND SPECIFICATION CONFLICT WITH THIS SPECIFICATION SECTION, THE REQUIREMENTS OF THIS SPECIFICATION SHALL PREVAIL. IN THE EVENT THAT THE REQUIREMENTS OF ANY OF THE FOLLOWING REFERENCED STANDARDS AND SPECIFICATIONS CONFLICT WITH EACH OTHER, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL.
 1. ANSI A300 - STANDARD PRACTICES FOR TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE (9 PARTS), MOST CURRENT EDITIONS.
 2. INTERNATIONAL SOCIETY OF ARBORICULTURE BEST MANAGEMENT PRACTICES (ISA BMP) MOST CURRENT EDITIONS.
 - a. TREE PRUNING
 - b. SOIL MANAGEMENT FOR URBAN TREES
 - c. TREE SUPPORT SYSTEMS: CABLING, BRACING, GUYING, AND PROPPING
 - d. TREE LIGHTING PROTECTION SYSTEMS
 - e. MANAGING TREES DURING CONSTRUCTION
 - f. TREE PLANTING
 - g. TREE RISK ASSESSMENT
 - h. TREE INVENTORY
 - i. INTEGRATED PEST MANAGEMENT
 - j. TREE INJECTIONS
 - k. TREE AND SHRUB FERTILIZATION
 3. PRUNING PRACTICES SHALL CONFORM WITH RECOMMENDATIONS "STRUCTURAL PRUNING: A GUIDE FOR THE GREEN INDUSTRY"; PUBLISHED BY URBAN TREE FOUNDATION, VISALIA, CALIFORNIA, MOST CURRENT EDITION.
 4. GLOSSARY OF ARBORICULTURAL TERMS, INTERNATIONAL SOCIETY OF ARBORICULTURE, CHAMPAIGN IL, MOST CURRENT EDITION.

1.4 VERIFICATION

- A. ALL SCALED DIMENSIONS ON THE DRAWINGS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES, AND SHALL IMMEDIATELY INFORM THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE INFORMATION ON THE DRAWINGS AND THE ACTUAL CONDITIONS. REFRAINING FROM DOING ANY WORK IN SAID AREAS UNTIL GIVEN APPROVAL TO DO SO BY THE OWNER'S REPRESENTATIVE.

1.5 PERMITS AND REGULATIONS

- A. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS RELATED TO THIS SECTION OF THE WORK UNLESS PREVIOUSLY EXCLUDED UNDER PROVISION OF THE CONTRACT OR GENERAL CONDITIONS. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES BEARING ON THE OPERATION OR CONDUCT OF THE WORK AS DRAWN AND SPECIFIED. IF THE CONTRACTOR OBSERVES THAT A CONFLICT EXISTS BETWEEN PERMIT REQUIREMENTS AND THE WORK OUTLINED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING INCLUDING A DESCRIPTION OF ANY NECESSARY CHANGES AND CHANGES TO THE CONTRACT PRICE RESULTING FROM CHANGES IN THE WORK.
 - a. WHEREVER REFERENCES ARE MADE TO STANDARDS OR CODES IN ACCORDANCE WITH WHICH WORK IS TO BE PERFORMED OR TESTED, THE EDITION OR REVISION OF THE STANDARDS AND CODES CURRENT ON THE EFFECTIVE DATE OF THIS CONTRACT SHALL APPLY, UNLESS OTHERWISE EXPRESSLY SET FORTH.
 - b. IN CASE OF CONFLICT AMONG ANY REFERENCED STANDARDS OR CODES OR BETWEEN ANY REFERENCED STANDARDS AND CODES AND THE SPECIFICATIONS, THE MORE RESTRICTIVE STANDARD OR CODE SHALL APPLY OR OWNERS REPRESENTATIVE SHALL DETERMINE WHICH SHALL GOVERN.

1.6 PROTECTION OF WORK, PROPERTY AND PERSON

- A. THE CONTRACTOR SHALL PROTECT THE WORK, ADJACENT PROPERTY, AND THE PUBLIC, AND SHALL BE RESPONSIBLE FOR ANY DAMAGES OR INJURY DUE TO HIS/HER ACTIONS.

1.7 CHANGES IN THE WORK

- A. THE OWNER'S REPRESENTATIVE MAY ORDER CHANGES IN THE WORK, AND THE CONTRACT SUM SHOULD BE ADJUSTED ACCORDINGLY. ALL SUCH ORDERS AND ADJUSTMENTS PLUS CLAIMS BY THE CONTRACTOR FOR EXTRA COMPENSATION MUST BE MADE AND APPROVED IN WRITING BEFORE EXECUTING THE WORK INVOLVED.

1.8 CORRECTION OF WORK

- A. THE CONTRACTOR SHALL RE-EXECUTE ANY WORK THAT FAILS TO CONFORM TO THE REQUIREMENTS OF THE CONTRACT AND SHALL REMEDY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP UPON WRITTEN NOTICE FROM THE OWNER'S REPRESENTATIVE, AT THE SOONEST POSSIBLE TIME THAT CAN BE COORDINATED WITH OTHER WORK AND SEASONAL WEATHER DEMANDS.

1.9 DEFINITIONS

- A. ALL TERMS IN THIS SPECIFICATION SHALL BE AS DEFINED IN THE "GLOSSARY OF ARBORICULTURAL TERMS" OR AS MODIFIED BELOW.
 - a. OWNER'S REPRESENTATIVE: THE PERSON APPOINTED BY THE OWNER TO REPRESENT THEIR INTEREST IN THE REVIEW AND APPROVAL OF THE WORK AND TO SERVE AS THE CONTRACTING AUTHORITY WITH THE CONTRACTOR. THE OWNER'S REPRESENTATIVE MAY APPOINT OTHER PERSONS TO REVIEW AND APPROVE ANY ASPECTS OF THE WORK.
 - b. REASONABLE AND REASONABLY: WHEN USED IN THIS SPECIFICATION IS INTENDED TO MEAN THAT THE CONDITIONS CITED WILL NOT AFFECT THE ESTABLISHMENT OR LONG TERM STABILITY, HEALTH OR GROWTH OF THE PLANT. THIS SPECIFICATION RECOGNIZES THAT PLANTS ARE NOT FREE OF DEFECTS, AND THAT PLANT CONDITIONS CHANGE WITH TIME. THIS SPECIFICATION ALSO RECOGNIZES THAT SOME DECISIONS CANNOT BE TOTALLY BASED ON MEASURED FINDINGS AND THAT PROFESSION JUDGMENT IS REQUIRED. IN CASES OF DIFFERING OPINION, THE OWNER'S REPRESENTATIVE EXPERT SHALL DETERMINE WHEN CONDITIONS WITHIN THE PLANT ARE JUDGED AS REASONABLE.
 3. SHRUB: WOODY PLANTS WITH MATURE HEIGHT APPROXIMATELY LESS THAN 25 FEET.
 4. TREE AND PLANT PROTECTION AREA: AREA SURROUNDING INDIVIDUAL TREES, GROUPS OF TREES, SHRUBS, OR OTHER VEGETATION TO BE PROTECTED DURING CONSTRUCTION, AND DEFINED BY A CIRCLE CENTERED ON THE TRUNK WITH EACH TREE WITH A RADIUS EQUAL TO THE CROWN DRIFLINE UNLESS OTHERWISE INDICATED BY THE OWNER'S REPRESENTATIVE OR THE CONSTRUCTION DRAWINGS.
 5. TREE: SINGLE AND MULTI-STEMMED PLANTS, INCLUDING PALMS WITH ANTICIPATED MATURE HEIGHT APPROXIMATELY GREATER THAN 25 FEET OR ANY PLANT IDENTIFIED ON THE PLANS AS A TREE.

1.10 SUBMITTALS

- A. ARBORIST REPORT
 1. PRIOR TO THE START OF CONSTRUCTION, SUBMIT, FOR APPROVAL BY THE OWNER'S REPRESENTATIVE, THE REPORT OF A CONSULTING ARBORIST WHO IS A REGISTERED CONSULTING ARBORIST® (RCA) WITH AMERICAN SOCIETY OF CONSULTING ARBORISTS OR AN ISA BOARD CERTIFIED ARBORIST, WHICH DETAILS THE FOLLOWING INFORMATION FOR ALL TREES TO REMAIN WITHIN THE AREA DESIGNATED ON THE DRAWINGS AS THE TREE AND PLANT PROTECTION AREA. THE REPORT SHALL INCLUDE THE FOLLOWING:
 - a. A DESCRIPTION OF EACH TREE TO REMAIN INDICATING ITS GENUS AND SPECIES, CONDITION INCLUDING ANY VISIBLE DAMAGE TO THE ROOT SYSTEM OR SOIL WITHIN THE ROOT ZONE, TREE DIAMETER AT BREAST HEIGHT (DBH) AND APPROXIMATE HEIGHT AND CANOPY SPREAD, SIZE AND ANY VISIBLE DISEASE, INSECT INFESTATIONS AND OR BRANCH AND TRUNK STRUCTURAL DEFICIENCIES.
 - b. THE REPORT SHALL NOTE ALL TREES OR PARTS OF TREES, WHICH ARE CONSIDERED A HAZARD OR SIGNIFICANT OR EXTREME RISK LEVEL. INCLUDE THE INTERNATIONAL SOCIETY OF ARBORICULTURE HAZARD EVALUATION SHEET FOR EACH TREE, WHICH MAY REASONABLY BE IDENTIFIED AS A POTENTIAL HAZARD TREE.
 - c. RECOMMENDATIONS AS TO TREATMENT OF ALL INSECT, DISEASE AND STRUCTURAL PROBLEMS ENCOUNTERED.
 - d. RECOMMENDATIONS FOR FERTILIZER TREATMENTS, IF ANY.
 - e. A PLAN OF THE SITE SHOWING THE LOCATION OF ALL TREES INCLUDED IN THE REPORT.
- B. PRODUCT DATA
 1. SUBMIT MANUFACTURER PRODUCT DATA AND LITERATURE DESCRIBING ALL PRODUCTS REQUIRED BY THIS SECTION TO THE OWNER'S REPRESENTATIVE FOR APPROVAL. PROVIDE SUBMITTAL BEFORE THE START OF ANY WORK AT THE SITE.
- C. QUALIFICATIONS SUBMITTAL
 1. FOR EACH APPLICABLE PERSON EXPECTED TO WORK ON THE PROJECT, PROVIDE COPIES OF THE QUALIFICATIONS AND EXPERIENCE OF THE CONSULTING ARBORIST, PROOF OF EITHER THE REGISTERED CONSULTING ARBORIST® (RCA)

WITH AMERICAN SOCIETY OF CONSULTING ARBORISTS OR AN ISA BOARD CERTIFIED MASTER ARBORIST, ANY ISA CERTIFIED ARBORIST, AND ANY REQUIRED HERBICIDE/PESTICIDE LICENSE TO THE OWNER'S REPRESENTATIVE. FOR REVIEW PRIOR TO THE START OF WORK.

1.11 OBSERVATION OF THE WORK

- A. THE OWNER'S REPRESENTATIVE MAY INSPECT THE WORK AT ANY TIME.
- 1.12 PRE-CONSTRUCTION CONFERENCE**
 - a. SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE AT LEAST SEVEN (7) DAYS BEFORE BEGINNING WORK TO REVIEW ANY QUESTIONS THE CONTRACTOR MAY HAVE REGARDING THE WORK, ADMINISTRATIVE PROCEDURES DURING CONSTRUCTION AND PROJECT WORK SCHEDULE.
 1. THE FOLLOWING CONTRACTORS SHALL ATTEND THE PRECONSTRUCTION CONFERENCE:
 - a. GENERAL CONTRACTOR.
 - b. CONSULTING ARBORIST/CERTIFIED ARBORIST
 - c. TREE AND PLANT PROTECTION SUB-CONTRACTOR.
 - d. EARTHWORK SUB-CONTRACTOR.
 - e. ALL SITE UTILITY SUB-SURFACE THATS THAT MAY BE REQUIRED TO DIG OR TRENCH INTO THE SOIL.
 - f. LANDSCAPE SUB-CONTRACTOR.
 - g. IRRIGATION SUB-CONTRACTOR.
 - h. PRIOR TO THIS MEETING, MARK ALL TREES AND PLANTS TO REMAIN AND OR BE REMOVED AS DESCRIBED IN THIS SPECIFICATION FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE.

1.13 QUALITY ASSURANCE

- A. CONTRACTOR QUALIFICATIONS:
 1. ALL PRUNING, BRANCH THE BACK, TREE REMOVAL, ROOT PRUNING, AND FERTILIZING REQUIRED BY THIS SECTION SHALL BE PERFORMED BY OR UNDER THE DIRECT SUPERVISION OF ISA CERTIFIED ARBORIST. SUBMIT AFOREMENTIONED INDIVIDUAL'S QUALIFICATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE.
 2. ALL APPLICATIONS OF PESTICIDE OR HERBICIDE SHALL BE PERFORMED BY A PERSON MAINTAINING A CURRENT STATE LICENSE TO APPLY OFICIAL PESTICIDES VALID IN THE JURISDICTION OF THE PROJECT. SUBMIT COPIES OF ALL REQUIRED STATE LICENSING CERTIFICATES INCLUDING APPLICABLE CHEMICAL APPLICATOR LICENSES.

PART 2 PRODUCTS

- 2.1 TREE PROTECTION SIGN:**
 - a. HEAVY-DUTY PLASTIC LAMINATED OR CORRUGATED PLASTIC SIGNS, 24 INCHES X 36 INCHES, WHITE COLORED BACKGROUND WITH BLACK 2 INCH HIGH OR LARGER LETTERS BLOCK LETTERS. THE SIGNS SHALL BE STAKED ADJACENT TO EXISTING TREES. THE TREE PROTECTION SIGN SHALL READ "KEEP OUT - TREE AND PLANT PROTECTION AREA" AND OTHER PROJECT INFORMATION AS SHOWN ON DRAWINGS.
- 2.2 MATTING**
 - a. MATTING FOR VEHICLE AND WORK PROTECTION SHALL BE HEAVY DUTY MATTING DESIGNED FOR VEHICLE LOADING OVER TREE ROOTS. ALTERNAMATS AS MANUFACTURED BY ALTERNAMATS, INC. FRANKLIN, PA 16323 OR APPROVED EQUAL. SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL.
- 2.3 GEOGRID**
 - a. GEOGRID SHALL BE WOVEN POLYESTER FABRIC WITH PVC COATING, UNI-AXIAL OR BIAXIAL GEOGRID, INERT TO BIOLOGICAL DEGRADATION, RESISTANT TO NATURALLY OCCURRING CHEMICALS, ALKALIS, ACIDS.
 - i. GEOGRID SHALL BE MIRAGRID 2XT AS MANUFACTURED BY TEN GATE NICOLON, NORCROSS, GA. HTTP://WWW.TENCATE.COM OR APPROVED EQUAL.
 - b. SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL.
- 2.4 FILTER FABRIC**
 - a. FILTER FABRIC SHALL BE NONWOVEN POLYPROPYLENE FIBERS, INERT TO BIOLOGICAL, DEGRADATION AND RESISTANT OF NATURALLY OCCURRING CHEMICALS, ALKALIS AND ACIDS.
 1. MIRAFI 135 N AS MANUFACTURED BY TEN GATE NICOLON, NORCROSS, GA. HTTP://WWW.TENCATE.COM OR APPROVED EQUAL.
 - b. SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL.

PART 3 EXECUTION

3.1 SITE EXAMINATION

- A. EXAMINE THE SITE, TREE, PLANT AND SOIL CONDITIONS. NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING OF ANY CONDITIONS THAT MAY IMPACT THE SUCCESSFUL TREE AND PLANT PROTECTIONS THAT IS THE INTENT OF THIS SECTION.

3.2 COORDINATION WITH PROJECT WORK

- A. THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER WORK THAT MAY IMPACT THE COMPLETION OF THE WORK PRIOR TO THE START OF WORK. PREPARE A DETAILED SCHEDULE OF THE WORK FOR COORDINATION WITH OTHER TRADES.
 - a. COORDINATE THE RELOCATION OF ANY IRRIGATION LINES CURRENTLY PRESENT ON THE IRRIGATION PLAN, HEADS OR THE CONDUITS OF OTHER UTILITY LINES OR STRUCTURES THAT ARE IN CONFLICT WITH TREE LOCATIONS. TREE ROOTS SHALL NOT BE ALTERED TO FIT AROUND LINES. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS ENCOUNTERED.

3.3 TREE AND PLANT PROTECTION AREA:

- A. THE TREE AND PLANT PROTECTION AREA IS DEFINED AS ALL AREAS INDICATED ON THE TREE PROTECTION PLAN.
- B. WHERE NO LIMIT OF THE TREE AND PLANT PROTECTION AREA IS DEFINED ON THE DRAWINGS, THE LIMIT SHALL BE THE DRIP LINE (OUTER EDGE OF THE BRANCH CROWN) OF EACH TREE.

3.4 PREPARATION:

- A. PRIOR TO THE PRECONSTRUCTION MEETING, LAYOUT THE LIMITS OF THE TREE AND PLANT PROTECTION AREA AND THEN ALIGNMENTS OF REQUIRED TREE AND PLANT PROTECTION FENCING AND ROOT PRUNING. OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF THE LIMITS OF THE PROTECTION AREA AND THE ALIGNMENT OF ALL FENCING AND ROOT PRUNING.
 - a. FLAG ALL TREES AND LARGE SHRUBS TO BE REMOVED BY WRAPPING ORANGE PLASTIC RIBBON AROUND THE TRUNK AND OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF ALL TREES AND LARGE SHRUBS TO BE REMOVED PRIOR TO THE START OF TREE AND SHRUB REMOVAL. AFTER APPROVAL, MARK ALL TREES AND SHRUBS TO BE REMOVED WITH ORANGE PAINT IN A BAND COMPLETELY AROUND THE BASE OF THE TREE OR LARGE SHRUB 4.5 FEET ABOVE THE GROUND.
 - b. FLAG ALL TREES AND LARGE SHRUBS TO REMAIN WITH WHITE PLASTIC RIBBON TIED COMPLETELY AROUND THE TRUNK OR EACH TREE AND ON A PROMINENT BRANCH FOR EACH SHRUB. OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF ALL TREES AND SHRUBS TO REMAIN PRIOR TO THE START OF TREE AND SHRUB REMOVAL.
 - c. PRIOR TO ANY CONSTRUCTION ACTIVITY AT THE SITE INCLUDING UTILITY WORK, GRADING, STORAGE OF MATERIALS, OR INSTALLATION OF TEMPORARY CONSTRUCTION FACILITIES, INSTALL ALL TREE PROTECTION FENCING, FILTER FABRIC, SILT FENCE, TREE PROTECTION SIGNS, GEOGRID, MULCH AND OR WOOD CHIPS AS SHOWN ON THE DRAWINGS.

3.5 SOIL MOISTURE

- A. VOLUIMETRIC SOIL MOISTURE LEVEL, IN ALL SOILS WITHIN THE TREE AND PLANT PROTECTION AREA SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT TO A DEPTH OF AT LEAST 8 INCHES. NO SOIL WORK OR OTHER ACTIVITY SHALL BE PERMITTED WITHIN THE TREE AND PLANT PROTECTION AREA WHEN THE VOLUIMETRIC SOIL MOISTURE IS ABOVE FIELD CAPACITY. THE PERMANENT WILT POINT AND FIELD CAPACITY FOR EACH TYPE OF SOIL TEXTURE SHALL BE DEFINED AS FOLLOWS (NUMBERS INDICATE PERCENTAGE VOLUIMETRIC SOIL MOISTURE):

SOIL TYPE	PERMANENT WILT POINT V/V	FIELD CAPACITY V/V
SAND, LOAMY SAND, SANDY LOAM	5 - 8%	12 - 18%
LOAM, SANDY CLAY, SANDY CLAY LOAM	14 - 25%	27 - 36%
CLAY LOAM, SILT LOAM	11 - 22%	31 - 36%
SILTY CLAY, SILTY CLAY LOAM	22 - 27%	38 - 41%

- B. VOLUIMETRIC SOIL MOISTURE SHALL BE MEASURED WITH A DIGITAL, ELECTRIC CONDUCTIVITY METER. THE METER SHALL BE THE DIGITAL SOIL MOISTURE METER, DSM5000 BY GENERAL SPECIALTY TOOLS AND INSTRUMENTS, OR APPROVED EQUIVALENT METER.
- C. THE CONTRACTOR SHALL CONFIRM THE SOIL MOISTURE LEVELS WITH A MOISTURE METER. IF THE MOISTURE IS TOO HIGH, SUSPEND OPERATIONS UNTIL THE SOIL MOISTURE DRAINS TO BELOW FIELD CAPACITY.

3.6 ROOT PRUNING:

- A. FINAL RECOMMENDATIONS ON ANY ROOT PRUNING REQUIREMENTS AND PROCEDURES ARE TO BE DETERMINED BY THE PROJECT ARBORIST AND PROVIDED IN WRITING TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY ROOT PRUNING.
- B. PRIOR TO ANY EXCAVATING INTO THE EXISTING SOIL GRADE WITHIN 25 FEET OF THE LIMIT OF THE TREE AND PLANT PROTECTION AREA OR TREES TO REMAIN, ROOT PRUNE ALL EXISTING TREES TO A DEPTH OF 24 INCHES BELOW EXISTING GRADE IN ALIGNMENTS FOLLOWING THE EDGES OF THE TREE AND PLANT PROTECTION AREA AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ROOT PRUNING SHALL BE IN CONFORMANCE WITH ANSI A300 (PART 8) LATEST EDITION.
 1. USING A ROCK SAW, CHAIN TRENCHER OR SIMILAR TRENCHING DEVICE, MAKE A VERTICAL CUT WITHIN 2 FEET OF THE LIMIT OF GRADING.
 2. AFTER COMPLETION OF THE CUT, MAKE CLEAN CUTS WITH A LOPPER, SAW OR PRUNER TO REMOVE ALL TORN ROOT ENDS ON THE TREE SIDE OF THE EXCAVATION, AND BACKFILL THE TRENCH IMMEDIATELY WITH EXISTING SOIL, FILLING ALL VOIDS.

- B. PERIODICALLY TEST THE MOISTURE CONTENT IN THE SOIL WITHIN THE ROOT ZONE TO DETERMINE THE WATER CONTENT.

3.13 WEED REMOVAL

- A. DURING THE CONSTRUCTION PERIOD, CONTROL ANY PLANTS THAT SEED IN AND AROUND THE FENCED TREE AND PLANT PROTECTION AREA AT LEAST THREE TIMES A YEAR.
 1. ALL PLANTS THAT ARE NOT SHOWING ON THE PLANTING PLAN OR ON THE TREE AND PLANT PROTECTION PLAN TO REMAIN SHALL BE CONSIDERED AS WEEDS.
- B. AT THE END OF THE CONSTRUCTION PERIOD PROVIDE ONE FINAL WEEDING OF THE TREE AND PLANT PROTECTION AREA.

3.14 INSECT AND DISEASE CONTROLLER

- A. MONITOR ALL PLANTS TO REMAIN FOR DISEASE AND INSECT INFESTATIONS DURING THE ENTIRE CONSTRUCTION PERIOD. PROVIDE ALL DISEASE AND INSECT CONTROL REQUIRED TO KEEP THE PLANTS IN A HEALTHY STATE USING THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). ALL PESTICIDES SHALL BE APPLIED BY A CERTIFIED PESTICIDE APPLICATOR.

3.15 CLEAN-UP

- A. DURING TREE AND PLANT PROTECTION WORK, KEEP THE SITE FREE OF TRASH, PAVEMENTS REASONABLY CLEAN AND WORK AREA IN AN ORDERLY CONDITION AT THE END OF EACH DAY. REMOVE TRASH AND DEBRIS IN CONTAINERS FROM THE SITE NO LESS THAN ONE A WEEK.
 1. IMMEDIATELY CLEAN UP ANY SPILLED OR TRACKED SOIL, FUEL, OIL, TRASH OR DEBRIS DEPOSITED BY THE CONTRACTOR FROM ALL SURFACES WITHIN THE PROJECT OR ON PUBLIC RIGHT OF WAYS AND NEIGHBORING PROPERTY.
 2. ONCE TREE PROTECTION WORK IS COMPLETE, WASH ALL SOIL FROM PAVEMENTS AND OTHER STRUCTURES. ENSURE THAT MULCH IS CONFINED TO PLANTING BEDS.
 3. MAKE ALL REPAIRS TO GRADES, RUTS, AND DAMAGE TO THE WORK OR OTHER WORK AT THE SITE.
 4. REMOVE AND DISPOSE OF ALL EXCESS MULCH, WOOD CHIPS, PACKAGING, AND OTHER MATERIAL BROUGHT TO THE SITE

3.8 PROTECTION:

- A. PROTECT THE TREE AND PLANT PROTECTION AREA AT ALL TIMES FROM COMPACTION OF THE SOIL; DAMAGE OF ANY KIND TO TRUNKS, BARK, BRANCHES, LEAVES AND ROOTS OF ALL PLANTS; AND CONTAMINATION OF THE SOIL, BARK OR LEAVES WITH CONSTRUCTION MATERIALS, OILS, AND ANY CHEMICALS SUBSTANCE. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY SPLLS, COMPACTION OF DAMAGED AND TAKE CORRECTIVE ACTION IMMEDIATELY USING METHODS APPROVED BY THE OWNER'S REPRESENTATIVE.
- 3.9 GENERAL REQUIREMENTS AND LIMITATIONS FOR OPERATIONS WITHIN THE TREE AND PLANT PROTECTION AREA:**
 - a. THE CONTRACTOR SHALL NOT ENGAGE IN ANY CONSTRUCTION ACTIVITY WITHIN THE TREE AND PLANT PROTECTION AREA

WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE INCLUDING: OPERATING, MOVING OR STORING EQUIPMENT; STORING SUPPLIES OR MATERIALS; LOCATING TEMPORARY FACILITIES INCLUDING TRAILERS OR PORTABLE TOILETS AND SHALL NOT PERMIT EMPLOYEES TO TRAVERSE THE AREA TO ACCESS ADJACENT AREAS OF THE PROJECT OR USE THE AREA ANY REASON. PERMITTED ACTIVITY, IF ANY, WITHIN THE TREE AND PLANT PROTECTION AREA MAY BE INDICATED ON THE DRAWINGS ALONG WITH ANY REQUIRED REMEDIAL ACTIVITY AS LISTED BELOW.

IN THE EVENT THAT CONSTRUCTION/VEHICULAR ACTIVITY IS UNAVOIDABLE WITHIN THE TREE AND PLANT PROTECTION AREA, NOTIFY THE OWNER'S REPRESENTATIVE AND SUBMIT A DETAILED WRITTEN PLAN OF ACTION FOR APPROVAL. THE PLAN SHALL INCLUDE: A STATEMENT DETAILING THE REASON FOR THE ACTIVITY INCLUDING WHY OTHER AREAS ARE NOT SUITED, A DESCRIPTION OF THE PROPOSED ACTIVITY, THE TIME PERIOD FOR THE ACTIVITY, AND A LIST OF REMEDIAL ACTIONS THAT WILL REDUCE THE IMPACT ON THE TREE AND PLANT PROTECTION AREA FROM THE ACTIVITY. TREE PROTECTION FOR THE REMEDIAL ACTIONS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWING:

- 1. IN GENERAL, DEMOLITION AND EXCAVATION WITHIN THE DRIP LINE OF TREES AND SHRUBS SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING AND DR AIR KNIFE EXCAVATION WHERE INDICATED OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS OR SOIL.
- 2. WHEN ENCOUNTERED, EXPOSED ROOTS, 1 INCHES AND LARGER IN DIAMETER SHALL BE WORKED AROUND IN A MANNER THAT DOES NOT BREAK THE OUTER LAYER OF THE ROOT SURFACE (BARK). THESE ROOTS SHALL BE COVERED IN MULCH AND SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT AT ALL TIMES. ROOTS ONE INCH AND LARGER IN DIAMETER SHALL NOT BE CUT WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE AND PROJECT ARBORIST. EXCAVATION SHALL BE TUNNELED UNDER THESE ROOTS WITHOUT CUTTING THEM. IN THE AREAS WHERE ROOTS ARE ENCOUNTERED, WORK SHALL BE PERFORMED AND SCHEDULED TO CLOSE EXCAVATIONS AS QUICKLY AS POSSIBLE OVER EXPOSED ROOTS.
- 3. TREE BRANCHES THAT INTERFERE WITH THE CONSTRUCTION MAY BE TIED BACK OR PRUNED TO CLEAR ONLY TO THE POINT NECESSARY TO COMPLETE THE WORK. OTHER BRANCHES SHALL ONLY BE REMOVED WHEN SPECIFICALLY INDICATED BY THE OWNER'S REPRESENTATIVE. TYING BACK OR TRIMMING OF ALL BRANCHES AND THE CUTTING OF ROOTS SHALL BE IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES (ANSI A300, PARTS 1 AND 8) AND BE PERFORMED UNDER SUPERVISION OF THE U.S.A. CERTIFIED ARBORIST.
- 4. MATTING: INSTALL TEMPORARY MATTING OR AN ADDITIONAL 12 INCH MULCH LAYER OVER THE MULCH SPECIFIED HEREIN WITHIN THESE SPECIFICATIONS TO THE EXTENT INDICATED. DO NOT PERMIT FOOT TRAFFIC, SCAFFOLDING, VEHICULAR TRAFFIC, OR THE STORAGE OF MATERIALS WITHIN THE TREE AND PLANT PROTECTION AREA TO OCCUR OF OF THE TEMPORARY MATTING.
- 5. TRUNK PROTECTION: PROTECT THE TRUNK OF EACH TREE TO REMAIN BY COVERING IT WITH A CLOSED CELL FOAM PAD AND A RING OF 2" x 4" x 4'-0" PLANKS LOOSELY BANDED ONTO THE TREE WITH 3 STEEL BANDS. STAPLE THE BANDS TO THE PLANKS AS NECESSARY TO HOLD THEM SECURELY IN PLACE. TRUNK PROTECTION MUST BE KEPT IN PLACE NO LONGER THAN 12 MONTHS. IF CONSTRUCTION REQUIRES WORK NEAR A PARTICULAR TREE TO CONTINUE LONGER THAN 12 MONTHS, THE STEEL BANDS SHALL BE INSPECTED EVERY SIX MONTHS AND LOOSENED IF THEY ARE FOUND TO HAVE BECOME TIGHT.
- 6. AIR EXCAVATION TOOL: IF EXCAVATION FOR FOOTINGS OR UTILITIES IS REQUIRED WITHIN THE TREE AND PLANT PROTECTION AREA, AIR EXCAVATION TOOL TECHNIQUES SHALL BE USED WHERE PRACTICAL OR AS DESIGNED ON THE DRAWINGS.
 - a. REMOVE THE MULCH FROM AN AREA APPROXIMATELY 18 INCHES BEYOND THE LIMITS OF THE HOLE OR TRENCH TO BE EXCAVATED. COVER THE MULCH FOR A DISTANCE OF NOT LESS THAN 15 FEET AROUND THE LIMIT OF THE EXCAVATION AREA WITH FILTER FABRIC OR PLASTIC SHEETING TO PROTECT THE MULCH FROM SILT. MOUND THE MULCH SO THAT THE PLASTIC SHEETING TOWARDS THE EXCAVATION.
 - b. USING A SPRINKLER OR SOAKER HOSE, APPLY WATER SLOWLY TO THE AREA OF THE EXCAVATION FOR A PERIOD OF AT LEAST 4 HOURS, APPROXIMATELY 12 HOURS PRIOR TO THE WORK SO THAT THE GROUND WATER LEVEL IS AT OR NEAR FIELD CAPACITY AT THE BEGINNING OF THE WORK. FOR EXCAVATIONS THAT GO BEYOND THE DAMP SOIL, REWET THE SOIL AS NECESSARY TO KEEP SOIL MOISTURE NEAR FIELD CAPACITY.
 - c. USING AN AIR EXCAVATION TOOL SPECIFICALLY DESIGNED AND MANUFACTURED FOR THE INTENDED PURPOSE, AND AT PRESSURES RECOMMENDED BY THE MANUFACTURER OF THE EQUIPMENT, FRACTURE THE EXISTING SOIL TO THE SHAPE AND THE DEPTHS REQUIRED. WORK AT RATES AND USING TECHNIQUES THAT DO NOT HARM TREE ROOTS. AIR PRESSURE SHALL BE A MAXIMUM OF 90-100 PSI.
 - 1) THE AIR EXCAVATION TOOL SHALL BE "AIR-SPADE" AS MANUFACTURED BY CONCEPT ENGINEERING GROUP, INC., VERONA, PA (412) 826-8800, OR AIR KNIFE AS MANUFACTURED BY EASY USE AIR TOOLS, INC. ALLISON PARK, PA (989) 338-5723 OR APPROVED EQUAL.
 - d. USING A COMMERCIAL, HIGH-POWERED VACUUM TRUCK IF REQUIRED, REMOVE THE SOIL FROM THE EXCAVATION PRODUCED BY THE AIR KNIFE EXCAVATION. THE VACUUM TRUCK SHOULD GENERALLY OPERATE SIMULTANEOUSLY WITH THE HOSE OPERATOR, SUCH THAT THE SOIL PRODUCED IS PICKED UP FROM THE EXCAVATION HOLE, AND THE EXPOSED ROOTS CAN BE OBSERVED AND NOT DAMAGED BY THE ONGOING OPERATION. DO NOT DRIVE THE VACUUM TRUCK INTO THE TREE AND PLANT PROTECTION AREA UNLESS THE AREA IS PROTECTED FROM COMPACTION AS APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE.
 - e. REMOVE ALL EXCAVATED SOIL AND EXCAVATED MULCH, AND CONTAMINATED SOIL AT THE END OF THE EXCAVATION.
 - f. SCHEDULE THE WORK SO THAT FOUNDATIONS OR UTILITY WORK IS COMPLETED IMMEDIATELY AFTER THE EXCAVATION. DO NOT LET THE ROOTS DRY OUT. MIST THE ROOTS SEVERAL TIMES DURING THE DAY. IF THE EXCAVATED AREA MUST REMAIN OPEN OVER NIGHT, MIST THE ROOTS AND COVER THE EXCAVATION WITH BLACK PLASTIC.
 - g. DISPOSE OF ALL SOIL IN A MANNER THAT MEETS LOCAL LAWS AND REGULATIONS.
 - h. RESTORE SOIL WITHIN THE TRENCH AS SOON AS THE WORK IS COMPLETED. UTILIZE SOIL OF SIMILAR TEXTURE TO THE REMOVED SOIL AND LIGHTLY COMPACT WITH HAND TOOLS. LEAVE SOIL MOULDED OVER THE TRENCH TO A HEIGHT OF APPROXIMATELY 10% OF THE TRENCH DEPTH TO ACCOUNT FOR SETTLEMENT.
 - i. RESTORE ANY GEOGRIDS, FILTER FABRIC, OR MULCH AND DR MATTING THAT WAS PREVIOUSLY REQUIRED FOR THE AREA.

END OF SECTION 015639

3.10 TREE REMOVAL:

- A. REMOVE ALL TREES INDICATED BY THE DRAWINGS AND SPECIFICATIONS, AS REQUIRED REMOVAL, IN A MANNER THAT WILL NOT DAMAGE ADJACENT TREES OR STRUCTURES OR COMPACTS THE SOIL.
- B. REMOVE TREES THAT ARE ADJACENT TO TREES OR STRUCTURES TO REMAIN, IN SECTIONS, TO LIMIT THE OPPORTUNITY OF DAMAGE TO ADJACENT CROWNS, TRUNKS, GROUND PLANE AND ROOTS AND STRUCTURES.
- C. DO NOT DROP TREES WITH A SINGLE CUT UNLESS THE TREE WILL FALL IN AN AREA NOT INCLUDED IN THE TREE AND PLANT PROTECTION AREA. NO TREE TO BE REMOVED WITHIN 50 FEET OF THE TREE AND PLANT PROTECTION AREA SHALL BE PUSHED OVER OR UP-ROOTED USING A PIECE OF GRADING EQUIPMENT.
- D. PROTECT ADJACENT PAVING, SOIL, TREES, SHRUBS, GROUND COVER PLANTINGS AND UNDERSTORY PLANTS TO REMAIN FROM DAMAGE DURING ALL TREE REMOVAL OPERATIONS, AND FROM CONSTRUCTION OPERATIONS. PROTECTION SHALL INCLUDE THE ROOT SYSTEM, TRUNK, LIMBS, AND CROWN FROM BREAKAGE OR SCARRING, AND THE SOIL FROM COMPACTION.
- E. REMOVE STUMPS AND IMMEDIATE ROOT PLATE FROM EXISTING TREES TO BE REMOVED. GRIND TRUNK BASES AND LARGE BUTTRESS ROOTS TO A DEPTH OF THE LARGEST BUTTRESS ROOT OR AT LEAST 18 INCHES BELOW THE TOP MOST ROOTS WHICH EVER IS LESS AND OVER THE AREA OF THREE TIMES THE DIAMETER OF THE TRUNK (DBH).
 1. FOR TREES WHERE THE STUMP WILL FALL UNDER NEW PAVED AREAS, GRIND ROOTS TO A TOTAL DEPTH OF 18 INCHES BELOW THE EXISTING GRADE. IF THE SIDES OF THE STUMP HOLE STILL HAVE GREATER THAN APPROXIMATELY 20% WOOD VOLUME, CONTINUE GRINDING OPERATION DEEPER AND OR WIDER UNTIL THE RESULTING HOLE HAS LESS THAN 20% WOOD. REMOVE ALL WOOD CHIPS PRODUCED BY THE GRINDING OPERATION AND BACK FILL IN 8 INCH LAYERS WITH CONTROLLED FILL OF A QUALITY ACCEPTABLE TO THE SITE ENGINEER FOR FILL MATERIAL UNDER STRUCTURES, COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY STANDARD PROCTOR. THE OWNER'S REPRESENTATIVE SHALL APPROVE EACH HOLE AT THE END OF THE GRINDING OPERATION.
 2. IN AREAS WHERE THE TREE LOCATION IS TO BE A PLANTING BED OR LAWN, REMOVE ALL WOODCHIPS AND BACKFILL STUMP HOLES WITH PLANTING SOIL AS DEFINED IN THE SOIL MANAGEMENT SPECIFICATIONS, IN MAXIMUM OF 12 INCH LAYERS AND COMPACT TO 80 - 85% OF THE MAXIMUM DRY DENSITY STANDARD PROCTOR.

3.11 PRUNING:

- A. WITHIN SIX MONTHS OF THE ESTIMATED DATE OF SUBSTANTIAL COMPLETION, PRUNE ALL DEAD OR HAZARDOUS BRANCHES LARGER THAN 2 INCH IN DIAMETER FROM ALL TREES TO REMAIN.
- B. IMPLEMENT ALL PRUNING RECOMMENDATIONS FOUND IN THE ARBORIST REPORT.
- C. PRUNE ANY LOW, HANGING BRANCHES AND VINES FROM EXISTING TREES AND SHRUBS THAT OVERHANG WALKS, STREETS AND DRIVES, OR PARKING AREAS AS FOLLOWS:
 1. WALKS - WITHIN 8 FEET VERTICALLY OF THE PROPOSED WALK ELEVATION.
 2. PARKING AREAS - WITHIN 12 FEET VERTICALLY OF THE PROPOSED PARKING SURFACE ELEVATION.
 3. STREETS AND DRIVES - WITHIN 14 FEET VERTICALLY OF THE PROPOSED DRIVING SURFACE ELEVATION.
- D. ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH ANSI A300 (PART 1 - PRUNING), ISA BMP: TREE PRUNING AND THE "STRUCTURAL PRUNING: A GUIDE FOR THE GREEN INDUSTRY."
- E. PERFORM OTHER PRUNING TASK AS INDICATED ON THE DRAWINGS OR REQUESTED BY THE OWNER'S REPRESENTATIVE.
- F. DURING TREE SPECIFIC VECTORS REQUIRED, STERILIZE ALL PRUNING TOOLS BETWEEN THE WORK IN INDIVIDUAL TREES.

3.12 WATERING

- A. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO ENSURE THAT ADEQUATE WATER IS PROVIDED TO ALL PLANTS AND TREES TO BE PRESERVED DURING THE ENTIRE CONSTRUCTION PERIOD. ADEQUATE WATER IS DEFINED TO BE MAINTAINING SOIL MOISTURE ABOVE THE PERMANENT WILT POINT TO A DEPTH OF 8 INCHES OR GREATER.
- B. THE CONTRACTOR SHALL ADJUST THE AUTOMATIC IRRIGATION SYSTEM, IF AVAILABLE, AND APPLY ADDITIONAL WATER, USING HOSES OR WATER TANKS AS REQUIRED.

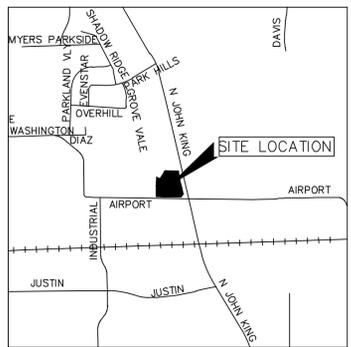
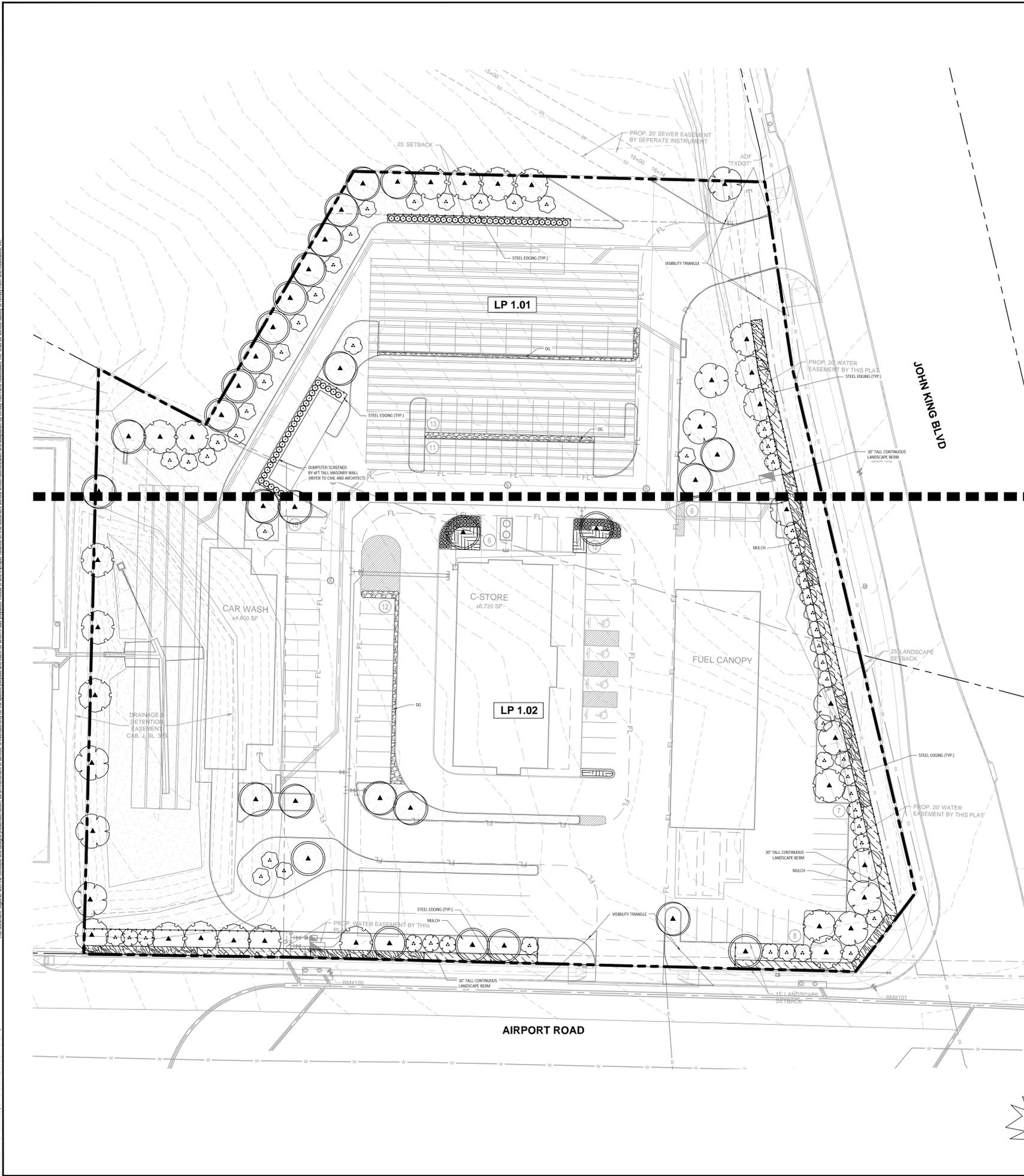
3.16 REMOVAL OF TREE AND PLANT PROTECTION

- A. AT THE END OF THE CONSTRUCTION PERIOD OR WHEN REQUESTED BY THE OWNER'S REPRESENTATIVE REMOVE ALL FENCING, GEOGRIDS AND FILTER FABRIC, TRUNK PROTECTION AND OR ANY OTHER TREE AND PLANT PROTECTION MATERIAL.

3.17 DAMAGE OR LOSS TO EXISTING PLANTS TO REMAIN

- A. ANY TREES OR PLANTS DESIGNATED TO REMAIN AND WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT THEIR OWN EXPENSE. TREES SHALL BE REPLACED WITH A TREE OF SIMILAR SPECIES AND 3 INCH CALIPER. SHRUBS SHALL BE REPLACED WITH A PLANT OF SIMILAR SPECIES AND EQUAL SIZE OR THE LARGEST SIZE PLANTS REASONABLY AVAILABLE WHICH EVER IS LESS. WHERE REPLACEMENT PLANTS ARE TO BE LESS THAN THE SIZE OF THE PLANT THAT IS DAMAGED, THE OWNER'S REPRESENTATIVE SHALL APPROVE THE SIZE AND QUALITY OF THE REPLACEMENT PLANT.
 1. ALL TREES AND PLANTS SHALL BE INSTALLED PER THE REQUIREMENTS OF PLANTING SPECIFICATIONS.
- B. PLANTS THAT ARE DAMAGED SHALL BE CONSIDERED AS REQUIRING REPLACEMENT OR APPRAISAL IN THE EVENT THAT THE DAMAGE AFFECTS MORE THAN 25% OF THE CROWN, 25% OF THE TRUNK CIRCUMFERENCE, OR ROOT PROTECTION AREA, OR THE TREE IS DAMAGED IN SUCH A MANNER THAT THE TREE COULD DEVELOP INTO A POTENTIAL HAZARD. TREES AND SHRUBS TO BE REPLACED SHALL BE REMOVED BY THE CONTRACTOR AT HIS OWN EXPENSE.
 1. THE OWNER'S REPRESENTATIVE MAY ENGAGE AN INDEPENDENT CONSULTING ARBORIST TO ASSESS ANY TREE OR PLANT THAT APPEARS TO HAVE BEEN DAMAGED TO DETERMINE THEIR HEALTH OR CONDITION.
 2. CONTRACTOR SHALL PAY ALL FINES AND MITIGATION COSTS ASSOCIATED WITH LOSS OF PROTECTED TREES DAMAGED BY CONTRACTORS FORCES.
- C. ANY TREE THAT IS DETERMINED TO BE DEAD, DAMAGED OR POTENTIALLY HAZARDOUS BY THE OWNER'S ARBORIST AND UPON THE REQUEST OF THE OWNER'S REPRESENTATIVE SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. TREE REMOVAL SHALL INCLUDE ALL CLEAN UP OF ALL WOOD PARTS AND GRINDING OF THE STUMP TO A DEPTH SUFFICIENT TO PLANT THE REPLACEMENT TREE ON PLANT, REMOVAL OF ALL CHIPS FROM THE STUMP SITE AND FILLING THE RESULTING HOLE WITH TOPSOIL.
- D. ANY REMEDIAL WORK ON DAMAGED EXISTING PLANTS RECOMMENDED BY THE CONSULTING ARBORIST SHALL BE COMPLETED BY THE CONTRACTOR AT NO COST TO THE OWNER. REMEDIAL WORK SHALL INCLUDE BUT IS NOT LIMITED TO: SOIL COMPACTION REMEDIATION AND VERTICAL MULCHING, PRUNING AND OR CABLING, INSECT AND DISEASE CONTROL INCLUDING INJECTIONS, COMPENSATORY WATERING, ADDITIONAL MULCHING, AND COULD INCLUDE APPLICATION TREE GROWTH REGULATORS (TGR).
- E. REMEDIAL WORK MAY EXTEND UP TO TWO YEARS FOLLOWING THE COMPLETION OF CONSTRUCTION TO ALLOW FOR ANY REQUIREMENTS OF MULTIPLE APPLICATIONS OR THE NEED TO UNDERTAKE APPLICATIONS AT REQUIRED SEASONS OF THE

IMAGES: E:\PROJECTS\2024\20240501_LP1_01\20240501_LP1_01.dwg
 PLOTTED BY: JAVIER GARCIA
 DATE: 5/15/2024 4:14 PM
 DWG NAME: LP1_01.DWG - LP1 OVERALL LANDSCAPE PLAN



VICINITY MAP
N.T.S.

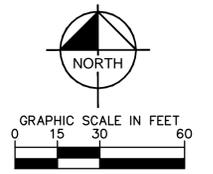
CITY OF ROCKWALL LANDSCAPE REQUIREMENTS		
LANDSCAPE MATERIAL (SECTION 4.A)	REQUIRED	PROVIDED
Canopy Trees shall be a minimum of 4" caliper	Yes	Yes
Accent Trees shall be a minimum of 4 ft in total height	Yes	Yes
Shrubs shall be a minimum of 3 gallons in size	Yes	Yes
AIRPORT ROAD - LANDSCAPE BUFFERS		
Retail/Commercial Land Uses: 15-foot (Subsection 05.01.E, Article 08, UDC)	10 ft	15 ft
Berms and shrubbery shall each have a minimum height of 30-inches. (Subsection 05.01.E, Article 08, UDC)	30 in	30 in
1 Canopy Trees / 50 lf (Subsection 05.01.E, Article 08, UDC)	11 Canopy Trees	11 Canopy Trees
511 lf / 50 lf * 1 = 11 Canopy Trees		
1 Accent Trees / 50 lf (Subsection 05.01.E, Article 08, UDC)	11 Accent Trees	11 Accent Trees
511 lf / 50 lf * 1 = 11 Accent Trees		
JOHN KING BLVD. - LANDSCAPE BUFFERS		
Retail/Commercial Land Uses: 25 ft (Subsection 06.02.E, Article 05, UDC)	25 ft	25 ft
Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48-inches. (Subsection 06.02.E, Article 05, UDC)	30 in	30 in
2 Canopy Trees / 100 lf (Subsection 06.02.E, Article 05, UDC)	10 Canopy Trees	10 Canopy Trees
487 lf / 100 lf * 2 = 10 Canopy Trees		
4 Accent Trees / 100 lf (Subsection 06.02.E, Article 05, UDC)	20 Accent Trees	20 Accent Trees
487 lf / 100 lf * 4 = 20 Accent Trees		
PARKING LOT LANDSCAPING		
If the parking and maneuvering space exceeds 20,000 sf, one (1) large canopy tree for every ten (10) parking spaces shall be required to be planted internal to the parking areas. (Subsection 05.03.E, Article 08, UDC)	1 Canopy Tree per 10 spots	10 Canopy Trees
No parking spaces may be located more than 80-feet from the trunk of a canopy tree. (Subsection 05.03.E, Article 08, UDC)	80 ft	80 ft
LANDSCAPE REQUIREMENTS		
Zoning District: Commercial (C) District 20% required landscaping areas. (Subsection 05.03.A, Article 08, UDC)	37,794 sf (20%)	37,794 sf (20%)
20% x 188,972 sf = 37,794 sf		
A minimum of 50% of the required landscaping shall be located in the front of and along the side of buildings with street frontage. (Subsection 05.03.A, Article 08, UDC)	18,898 sf (50%)	18,898 sf (50%)
50% x 37,796 sf = 18,898 sf		
SCREENING REQUIREMENTS		
Trash/Recycling enclosures shall be four sided. These receptacles shall be screened by a minimum six foot, solid masonry dumpster enclosure.	6 ft Wall	6 ft Wall
1 Canopy Tree / 20 lf (Subsection 01.05.E, Article 05, UDC)	5 Canopy Trees	5 Canopy Trees
90 lf / 20 lf = 5 Canopy Trees		
Screened with evergreen shrubs (Subsection 01.05.B, Article 05, UDC)	Yes	Yes

NOTE: REFER TO SHEET LP 3.03 TO SEE FULL LANDSCAPE TABLE

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

	PerVIOUS	Impervious
	65%	35%
	(123,862 sf)	(65,110 sf)

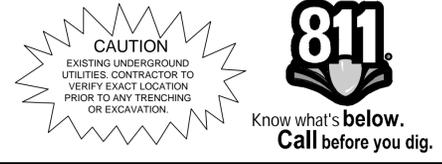


SITE PLAN FOR
 FUEL CITY - ROCKWALL
 LOT 2, BLOCK A
 CORNERSTONE COMMUNITY CHURCH
 4.34 ACRES
 N. BUTLER SURVEY ABSTRACT NO. 20
 City of Rockwall, Rockwall County, Texas
 Current Zoning: C (Commercial District)
 Proposed Land Use: Gas Station/ Car Wash
 Submitted: May 18th, 2025

Architect: Carroll Architects
 750 E. Interstate 30, Ste. 110
 Rockwall, Texas 75087
 Contact: Glenn Langston
 Phone: 972-732-6085

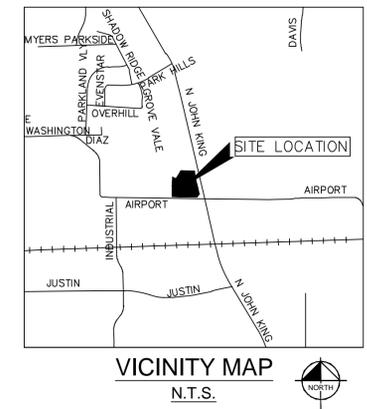
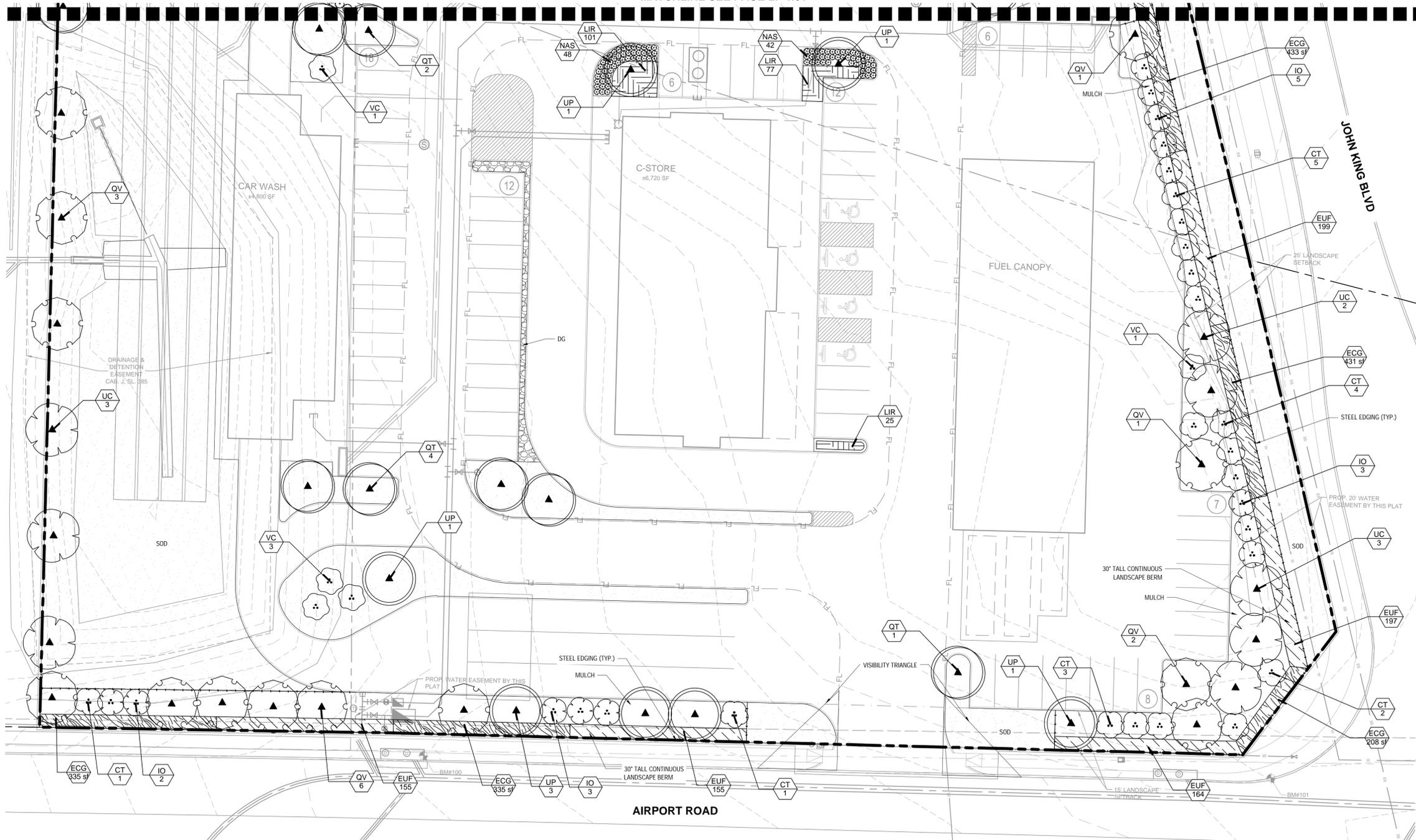
Developer: Fuel City
 801 S. Riverfront Boulevard, 00
 Dallas, Texas 75207
 Contact: Joseph Bickham
 Phone: 469-203-0159

Engineer: Kimley-Horn and Associates, Inc.
 225 E. John W. Carpenter FWY,
 Suite 1100
 Irving, Texas 75062
 Contact: Jared Earmey, P.E.
 Phone: 214-420-5600



<p>13455 NOEL RD. TWO GALLERIA OFFICE TOWER SUITE 700 DALLAS, TX 75240 PHONE: 972-770-1300 FAX: 972-238-3820 WWW.KIMLEY-HORN.COM TX F-928 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.</p>	SHEET NUMBER LP 1.00
	REVISIONS No. _____ DATE _____
KHA PROJECT 064454302 DATE MAY 7, 2025 SCALE AS SHOWN DESIGNED BY PNA DRAWN BY PNA CHECKED BY NBA	FUEL CITY - ROCKWALL ROCKWALL, TEXAS, 75087
OVERALL LANDSCAPE PLAN	SHEET NUMBER LP 1.00

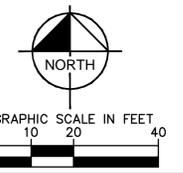
MATCHLINE SEE PAGE LP 1.01



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES		
▲	QT	Quercus texana / Texas Red Oak
○	QV	Quercus virginiana / Southern Live Oak
○	UC	Ulmus crassifolia / Cedar Elm
○	UP	Ulmus parvifolia / Lacebark Elm
ORNAMENTAL TREE		
●	CT	Cercis canadensis / Eastern Redbud
●	IO	Ilex decidua / Possumhaw Holly
●	VC	Vitex agnus-castus / Chaste Tree
SHRUBS		
○	ILB	Ilex cornuta 'Burfordii' / Burford Holly
GRASSES		
○	NAS	Nassella tenuissima / Mexican Feather Grass
GROUND COVERS		
▨	ECG	Eragrostis curvula / Weeping Lovegrass
▨	EUF	Euonymus fortunei 'Coloratus' / Purple-leaf Winter Creeper
▨	LIR	Liriope muscari / Liriope

Pervious	Impervious
65%	35%
(123,862 sf)	(65,110 sf)



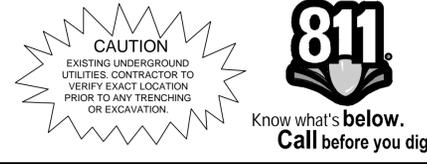
NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.
 NOTE: REFER TO SHEET LP 3.03 TO SEE FULL LANDSCAPE TABLE
 NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.
 NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

**SITE PLAN FOR
 FUEL CITY - ROCKWALL
 LOT 2, BLOCK A
 CORNERSTONE COMMUNITY CHURCH
 4.34 ACRES
 N. BUTLER SURVEY ABSTRACT NO. 20
 City of Rockwall, Rockwall County, Texas
 Current Zoning: C (Commerical District)
 Proposed Land Use: Gas Station/ Car Wash
 Submitted: May 18th, 2025**

Architect: Carroll Architects
 750 E. Interstate 30, Ste. 110
 Rockwall, Texas 75087
 Contact: Glennon Langston
 Phone: 972-732-6085

Developer: Fuel City
 801 S. Riverfront Boulevard, 00
 Dallas, Texas 75207
 Contact: Joseph Bickham
 Phone: 469-203-0159

Engineer: Kimley-Horn and Associates, Inc.
 225 E. John W. Carpenter FWY,
 Suite 1100
 Irving, Texas 75062
 Contact: Jared Earmey, P.E.
 Phone: 214-420-5600



NO.	REVISIONS	DATE	BY

Kimley-Horn
 13455 NOEL RD. TWO GALLERIA OFFICE TOWER
 SUITE 700 DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-238-3820
 WWW.KIMLEY-HORN.COM TX F-928
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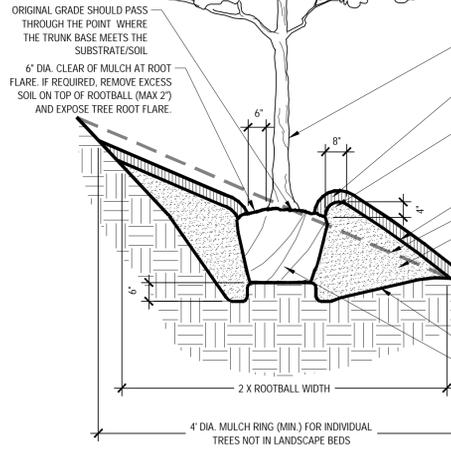
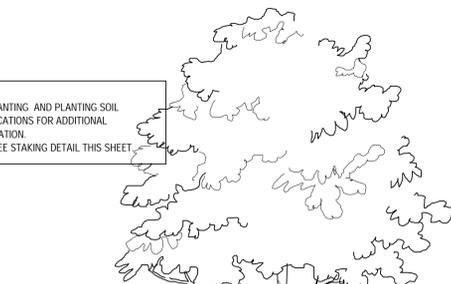
KHA PROJECT	064454302
DATE	MAY 2025
SCALE	AS SHOWN
DESIGNED BY	PNA
DRAWN BY	PNA
CHECKED BY	NBA

FUEL CITY - ROCKWALL
 ROCKWALL, TEXAS, 75087

LANDSCAPE PLAN
 SHEET NUMBER
LP 1.02

IMAGES: EPIC02276, DWD0204020, LK0220849, LK0648603, Mpg0148
 PLOTTED BY: AMBERSON, PAVITRYN 5/15/2025 4:13 PM
 LAST DATE: 5/15/2025 1:54 PM
 DWG NAME: LP 1.01.DWG, LP 1.01

NOTES:
 1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. REF. TREE STAKING DETAIL THIS SHEET.

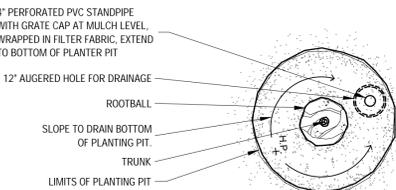


TRUNK/ROOTBALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT
 3" MULCH LAYER, NO MORE THAN 1" OF MULCH ON TOP OF ROOTBALL (REF. PLANTING SPECIFICATIONS FOR MULCH TYPE)
 4" HIGH x 8" WIDE BERM SHALL BE CONSTRUCTED AROUND THE ROOT BALL. BERM SHALL BEGIN AT ROOT BALL PERIPHERY, FIRMLY COMPACTED. BERM SHALL BE CENTERED ON THE DOWNHILL SIDE IN A 240° ARC.
 FINISHED GRADE
 ORIGINAL GRADE
 NATIVE LOOSENED PLANTING SOIL BACKFILL. DIG AND TURN THE SOIL TO REDUCE COMPACTION TO THE AREA AND DEPTH SHOWN. LIGHTLY TAMP SOIL AROUND ROOTBALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. IN THE TOP 1/3 DEPTH OF BACK FILL, MIX 1/2" LAYER OF COMPOST INTO EACH 6" LIFT OF BACKFILL. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND ROOTBALL TO SETTLE THE SOIL.
 UNDISTURBED NATIVE SOIL
 SCARIFY BOTTOM AND LOOSEN SIDES OF PLANTING PIT
 SET ROOTBALL ON UNDISTURBED STABLE SUBSOIL SO THAT TOP OF ROOTBALL IS 2-3" ABOVE FINISHED GRADE. STABILIZE/PLUMB TREE BY TAMPING SOIL FIRMLY AROUND THE LOWER 1/4 OF THE ROOTBALL.
 • FOR CONTAINER STOCK: REMOVE ENTIRE CONTAINER.
 • FOR B&B STOCK: COMPLETELY REMOVE TOP 1/2 OF THE ENTIRE WIRE BASKET, COMPLETELY REMOVE ALL BURLAP/SYNTHETIC FABRICS AND STRAPPING.

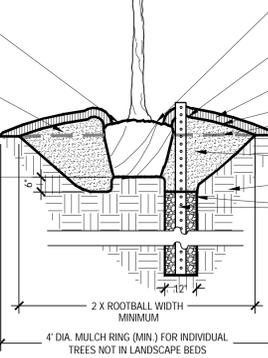
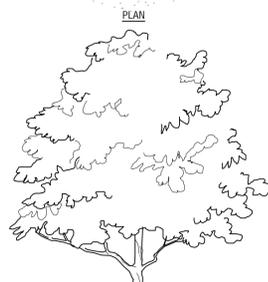
Tree Planting On 5-25% Slopes (20:1 to 4:1 Slopes)

Scale: NTS

D



NOTES:
 1. THIS DETAIL IS FOR TREE PLANTING IN POOR DRAINAGE CONDITIONS ONLY. REF. DETAIL A THIS SHEET FOR TYPICAL TREE PLANTING.

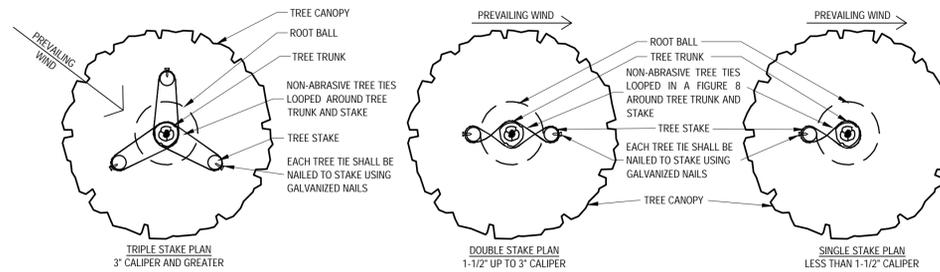


6" DIA. CLEAR OF MULCH AT ROOT FLARE. IF REQUIRED, REMOVE EXCESS SOIL ON TOP OF ROOTBALL (MAX 2") AND EXPOSE TREE ROOT FLARE.
 4" HIGH x 8" WIDE BERM SHALL BE CONSTRUCTED AROUND THE ROOT BALL. BERM SHALL BEGIN AT ROOT BALL PERIPHERY, FIRMLY COMPACTED.
 3" MULCH LAYER, NO MORE THAN 1" OF MULCH ON TOP OF ROOTBALL (REF. PLANTING SPECIFICATIONS FOR MULCH TYPE)
 FINISH GRADE
 ORIGINAL GRADE
 NATIVE PLANTING BACKFILL
 UNDISTURBED NATIVE SOIL
 OPTIONAL:
 • 12" DIA. AUGERED HOLE FILLED WITH 1/2" - 3/4" WASHED GRAVEL AND WRAPPED IN FILTER FABRIC. PENETRATE HOLE THROUGH OCCLUDING LAYER TO A DEPTH TO ASSURE PROPER PERCOLATION.
 • 4" PERFORATED PVC PIPE WITH GRATE CAP AT MULCH LEVEL, WRAPPED IN FILTER FABRIC, EXTEND TO BOTTOM OF SUMP.
 SET ROOTBALL ON UNDISTURBED STABLE SUBSOIL SO THAT TOP OF ROOTBALL IS 2-3" ABOVE FINISHED GRADE. STABILIZE/PLUMB TREE BY TAMPING SOIL FIRMLY AROUND THE LOWER 1/4 OF THE ROOTBALL.
 • FOR CONTAINER STOCK: REMOVE ENTIRE CONTAINER.
 • FOR B&B STOCK: COMPLETELY REMOVE TOP 1/2 OF THE ENTIRE WIRE BASKET, COMPLETELY REMOVE ALL BURLAP/SYNTHETIC FABRICS AND STRAPPING.
 ADD ADDITIONAL SOIL AS NEEDED TO PLANTING SOIL BACKFILL IN ORDER TO CREATE A SMOOTH TRANSITION FROM THE TOP OF THE RAISED ROOT BALL TO THE ORIGINAL GRADE AT A 15% MAX SLOPE.
 TOP OF ROOTBALL SHALL BE POSITIONED 1/4 OF ROOTBALL DEPTH ABOVE ORIGINAL GRADE.
 4" DIA. MULCH RING (MIN.) FOR INDIVIDUAL TREES NOT IN LANDSCAPE BEDS

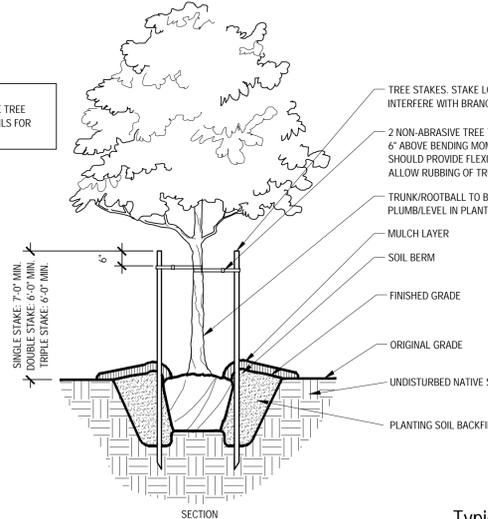
Tree Planting (Poor Drainage Condition)

Scale: NTS

C



NOTES:
 1. THIS DETAIL IS FOR ABOVE GRADE TREE STAKING ONLY. REF. OTHER DETAILS FOR TYPICAL TREE PLANTING.

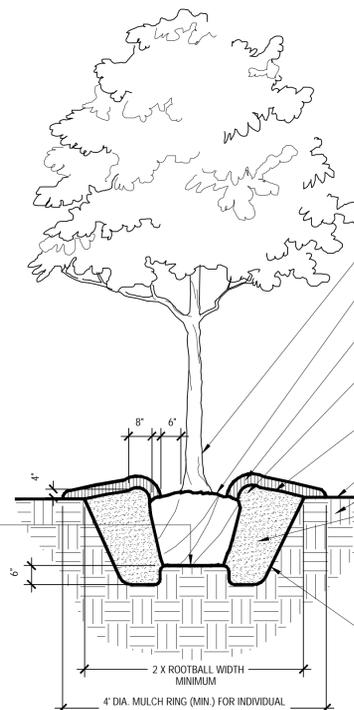


TREE STAKES, STAKE LOCATION SHALL NOT INTERFERE WITH BRANCHES.
 2 NON-ABRASIVE TREE TIES, TREE TIES SHALL BE 6" ABOVE BENDING MOMENT OF TREE. TIES SHOULD PROVIDE FLEXIBILITY OF TRUNK BUT NOT ALLOW RUBBING OF TRUNK AGAINST STAKE.
 TRUNK/ROOTBALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT
 MULCH LAYER
 SOIL BERM
 FINISHED GRADE
 ORIGINAL GRADE
 UNDISTURBED NATIVE SOIL
 PLANTING SOIL BACKFILL

Typical Tree Staking

Scale: NTS

B



TRUNK/ROOTBALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT
 6" DIA. CLEAR OF MULCH AT ROOT FLARE. IF REQUIRED, REMOVE EXCESS SOIL ON TOP OF ROOTBALL (MAX 2") AND EXPOSE TREE ROOT FLARE.
 4" MULCH LAYER, PLACE NO MORE THAN 1" OF MULCH ON TOP OF ROOTBALL (REF. PLANTING SPECIFICATIONS FOR MULCH TYPE)
 3" HIGH x 8" WIDE BERM SHALL BE CONSTRUCTED AROUND THE ROOT BALL. BERM SHALL BEGIN AT ROOT BALL PERIPHERY, FIRMLY COMPACTED.
 FINISHED GRADE
 ORIGINAL GRADE
 UNDISTURBED NATIVE SOIL
 NATIVE LOOSENED PLANTING SOIL BACKFILL. DIG AND TURN THE SOIL TO REDUCE COMPACTION TO THE AREA AND DEPTH SHOWN. LIGHTLY TAMP SOIL AROUND ROOTBALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. IN THE TOP 1/3 DEPTH OF BACK FILL, MIX 1/2" LAYER OF COMPOST INTO EACH 6" LIFT OF BACKFILL. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND ROOTBALL TO SETTLE THE SOIL. ADD ADDITIONAL SOIL AS NEEDED TO MEET REQUIRED FINISH GRADE.
 SCARIFY BOTTOM AND LOOSEN SIDES OF PLANTING PIT
 SET ROOTBALL ON UNDISTURBED STABLE SUBSOIL SO THAT TOP OF ROOTBALL IS 2-3" ABOVE FINISHED GRADE. STABILIZE/PLUMB TREE BY TAMPING SOIL FIRMLY AROUND THE LOWER 1/4 OF THE ROOTBALL.
 • FOR CONTAINER STOCK: REMOVE ENTIRE CONTAINER.
 • FOR B&B STOCK: COMPLETELY REMOVE TOP 1/2 OF THE ENTIRE WIRE BASKET, COMPLETELY REMOVE ALL BURLAP/SYNTHETIC FABRICS AND STRAPPING.
 4" DIA. MULCH RING (MIN.) FOR INDIVIDUAL TREES NOT IN LANDSCAPE BEDS

Typical Tree Planting (Up to 3" Caliper)

Scale: NTS

A

NOTES:
 1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. REF. TREE STAKING DETAIL THIS SHEET.

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Kimley»Horn
 P.L.A. NICHOLAS B. ADAMS
 L.A. No. 3458 Date: 5/15/2025

KHA PROJECT 064454302
 DATE MAY 7, 2025
 SCALE AS SHOWN
 DESIGNED BY PNA
 DRAWN BY PNA
 CHECKED BY NBA

FUEL CITY - ROCKWALL
 ROCKWALL, TEXAS, 75087

LANDSCAPE DETAILS

SITE PLAN FOR
 FUEL CITY - ROCKWALL
 LOT 2, BLOCK A
 CORNERSTONE COMMUNITY CHURCH
 4.34 ACRES
 N. BUTLER SURVEY ABSTRACT NO. 20
 City of Rockwall, Rockwall County, Texas
 Current Zoning: C (Commerical District)
 Proposed Land Use: Gas Station/ Car Wash
 Submitted: May 18th, 2025

Architect: Carroll Architects
 750 E. Interstate 30, Ste. 110
 Rockwall, Texas 75087
 Contact: Glennon Langston
 Phone: 972-732-6085

Developer: Fuel City
 801 S. Riverfront Boulevard, 00
 Dallas, Texas 75207
 Contact: Joseph Blockham
 Phone: 469-203-0159

Engineer: Kimley-Horn and Associates, Inc.
 225 E. John W. Carpenter FWY,
 Suite 1100
 Irving, Texas 75062
 Contact: Jared Earmey, P.E.
 Phone: 214-420-5600



Know what's below.
 Call before you dig.

SHEET NUMBER
 LP 3.01

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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

- THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
- WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.
- PROTECTION OF EXISTING STRUCTURES
ALL EXISTING BUILDINGS, WALLS, RAILING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLENISHED TO THE SATISFACTION OF THE OWNER.
- PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTING BY DRIVING OR PARKING INSIDE THE DRIP-LINE OR THE SPRINKLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPED AND OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PER CENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

- GENERAL
SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGUN.
- MATERIALS - SAMPLES
MULCH: ONE (1) CUBIC FOOT
TOPSOIL: ONE (1) CUBIC YARD
PLANTS: ONE (1) EACH VARIETY

2. PLANT MATERIALS

- PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION, ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS. INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.
- MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS. LATENT DEFECTS OR INJURIES, REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. TOPSOIL

- ASTM D5398, NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCE HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1/4 INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATTER.
- SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH.
- VERIFY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITHIN INTERIOR LANDSCAPE ISLANDS AND FOUNDATION PLANTINGS. FOR ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL MINIMUM TO BE PROVIDED.
- IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT.
- OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 INCHES DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOSS, OR WIRBESHS.
- VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS. OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE.
- OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS SHALL BE CURRENT AND ACTIVE.
- AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.
 - ORGANIC SOIL AMENDMENTS
 - MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS; FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEEED SEED, AND MATERIAL HARMFUL TO PLANT GROWTH.
 - BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT.
 - COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND PEAN HULLS FOR LOCAL SOURCE.
 - PECAN HULLS: COMPOSTED PECAN HULLS FOR LOCAL SOURCE.
 - BIRDPODS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS.
 - FORM CASTINGS: EARTHWORMS.
 - INORGANIC SOIL AMENDMENTS
 - LIME: ASTM C602, CLASS 0 AGRICULTURAL, LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT AND A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 50 PERCENT PASSING NO. 40 SIEVE.
 - SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT PASSING NO. 40 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 20 SIEVE.
 - IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT IRON AND 10 PERCENT SULFUR.
 - AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM SULFATE.
 - SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.

6. PLANTING SOIL MIX

- PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MINICK MATERIALS OR APPROVED EQUAL.
- PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL MIXED WITH 15 PERCENT ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. INSTALL TO DEPTHS, PER PLANTING DETAILS (1/2" MIN) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
- SODDED AREA TOPSOIL
ALL SODD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL. PRIOR TO INSTALLATION, TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, WITH 25% (MIN) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 99% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL (MIN) CONTAINER.

I. WATER

- WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARDS SHALL BE OBTAINED ON THE SITE FROM THE OWNER. IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

J. COMMERCIAL FERTILIZER

- COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA; IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS. FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS WILL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S SPECIFICATIONS.
- SHRUBS AND TREES - ALORGANIC OR APPROVED EQUAL.
 - ANNUALS AND PERENNIALS - ORGANIC FORMULA BLEND 14-14-14
 - SOD - 8-8-8 FERTILIZER
- IN ADDITION TO SURFACE APPLIED FERTILIZERS, ALL GROUND GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24-10-4 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT A DEPTH OF ROOT BALL AT THE RATE AS SPECIFIED BY MANUFACTURER.

K. MULCH

- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL AND GRADE.

L. DIGGING AND HANDLING

- PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND LOSS DURING TRANSPORT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT (VILTRIP) OR EQUAL TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- BALLED AND BURLAPPED PLANTS (BAB) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDED BY STEMS.
- PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. PLANTS MARKED "C" SHALL BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.
- PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (C) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRAGGED PER DETAIL.
- EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

M. CONTAINER GROWN STOCK

- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE.
- SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT.

N. COLLECTED STOCK

- WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM AREAS OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

O. NATIVE STOCK

- PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED AN ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

P. MATERIALS LIST

- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITIES, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

Q. FINE GRADING

- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOIL AND MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/AND WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

R. PLANTING PROCEDURES

- CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL WORMTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY NOTIFY THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS LINES AND TANKS, WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.
- SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY SITE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND BACKFILL TO CORRECT. SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER.
- FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. COMPLY WITH APPLICABLE HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
- THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.
- ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK (SUS) UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SECTION H). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE GIVEN FOR PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A FLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETING" IN SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STROKE" OR EQUAL IS RECOMMENDED.
- TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:
 - TWO (2) TABLETS PER 1 GAL PLANT
 - THREE (3) TABLETS PER 1 GAL PLANT
 - FOUR (4) TABLETS PER 1 GAL PLANT
 - LONGER MATERIAL: TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER
- TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMING.
- FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, THROUGH IF NECESSARY TO GET SOIL THOROUGHLY WET. PLANT LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC. SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT.
- SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 1/2". REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" OF THE PLANTING SOIL MIX AS SPECIFIED IN SECTION H. THOROUGHLY WATER ALL PLANTS AFTER PLANTING.
- TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL AND DAMAGE PERSON OR PROPERTY.
- MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PIT.
- HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL, BY QUALIFIED PERSONNEL, TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

S. LAWN SODDING

- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.
- LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE.
- SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM, UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL, TO A DEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

4. SODDING

- THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
- SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SODD SOLID SODD LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDCAPE ELEMENTS. PAVED AND PLANTED AREAS, ADJACENT TO BUILDINGS, A FOUR INCH MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY BRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOIL, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

- DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

5. SEEDING

- PROVIDE FRESH, CLEAN, NEW CROP LAWN SEED MIXTURE. FURNISH TO OWNER DEALERS GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY.
- SEED MIXTURE: PROVIDE SEED OF GRASS SPECIES AND VARIETIES, PROPORTIONS BY WEIGHT AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED. SEED MIXTURES VARY BY REGION AND SEASON AND SHALL COMPLY WITH STATE AND LOCAL SOIL CONSERVATION SERVICE STANDARDS FOR LAWN TURF.
- DO NOT PERFORM SEEDING IN WINDY CONDITIONS.

6. SEEDING SHALL BE DISPERSED IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

E. PERMANENTLY SEED AND MULCH CUT AND FILL SLOPES AS CONSTRUCTION PERTAINING TO EXTENT CONSIDERED DESIRABLE AND PRACTICAL. IN THE EVENT IT IS NOT PRACTICAL TO SEED AREAS, SLOPES SHALL BE STABILIZED WITH STRAW MULCH AND TACKIFIER, BONDED FIBER MATRIX, NETTING, BLANKETS OR OTHER MEANS TO REDUCE THE EROSION POTENTIAL OF THE AREA.

F. SEED LAWN AREAS BY SOWING EVENLY WITH APPROVED MECHANICAL SEEDER AT RATE OF MINIMUM OF 6 POUNDS PER 1,000 SQUARE FEET. AMOUNT WILL VARY BASED ON VARIETY AND/OR SPECIES. CULT-PACKER OR APPROVED SIMILAR EQUIPMENT MAY BE USED TO COVER SEED AND TO FORM SEEDBED IN ONE OPERATION IN AREAS INACCESSIBLE TO CULT-PACKER. LIGHTLY RAKE SEEDBED GROUND WITH FLEXIBLE RAKES AND ROLL WITH WATER BALLAST ROLLER. AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE.

G. SURFACE LAYER OF SOIL FOR SEEDED AREAS SHALL BE KEPT MOIST DURING GERMINATION PERIOD. WATER SEEDED AREAS TWICE PER WEEK TO MINIMUM DEPTH OF 6 INCHES WITH FINE SPRAY AND ONCE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH.

H. CONTRACTOR TO REAPPLY SEED AS NECESSARY IN ORDER TO GET ALL SEEDED AREAS ESTABLISHED AS INTENDED.

6. LAWN MAINTENANCE:

- WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK INCLUDING REGRADEING IF NECESSARY.
- WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK AT EVEN INTERVALS FOR TWO (2) ADDITIONAL WEEKS. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO DEPTH OF FOUR (4) INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/COUNTY PROTOCOL, IF ANY ARE IN PLACE.

L. CLEAN-UP

- UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

U. PLANT MATERIAL MAINTENANCE

- ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 30 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

V. MAINTENANCE (ALTERNATE BID ITEM)

- CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

W. GUARANTEE

- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL, INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.
- THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF 90 CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.
- REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD AND TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTH PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

X. FINAL INSPECTION AND ACCEPTANCE OF WORK

- FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
TREES					
	QT		Quercus texana / Texas Red Oak	4' cal, 16' ht, 5'-6" spr	Full, Straight, Single Leader
	QV	22	Quercus virginiana / Southern Live Oak	4' cal, 16' ht, 5'-6" spr	Full, Straight, Single Leader
	UC	11	Ulmus crassifolia / Cedar Elm	4' cal, 15' ht, 6' spr	Full, Straight, Single Leader
	UP	12	Ulmus parvifolia / Lacebark Elm	4' cal, 15' ht, 6' spr	Full, Straight, Single Leader
ORNAMENTAL TREE					
	CT	21	Cercis canadensis / Eastern Redbud	4' cal, 14' ht, 6' spr	Full, Single Leader
	IO	16	Ilex decidua / Possumhaw Holly	4' cal, 12' ht, 4' spr	Full, Multi-Trunk
	VC	20	Vitex agnus-castus / Chaste Tree	6' ht, 5' spr	Full, Multi-Trunk
SHRUBS					
	ILB	59	Ilex cornuta 'Burfordii' / Burford Holly	36" ht, 30" spr, 42" oc	Full
GRASSES					
	NAS	90	Nassella tenuissima / Mexican Feather Grass	18" ht, 24" oc	Full
GROUND COVERS					
	ECG	1,931 sf	Eragrostis curvula / Weeping Lovegrass	18" ht, 36" oc	Full
	EUF	1,059	Euonymus fortunei 'Coloratus' / Purple-leaf Winter Creeper	8" ht, 8" spr, 18" oc	Full, 1 gallon min.
	LIR	203	Liriope muscari / Liriope	12" ht, 12" spr, 18" oc	Full, 1 gallon min.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

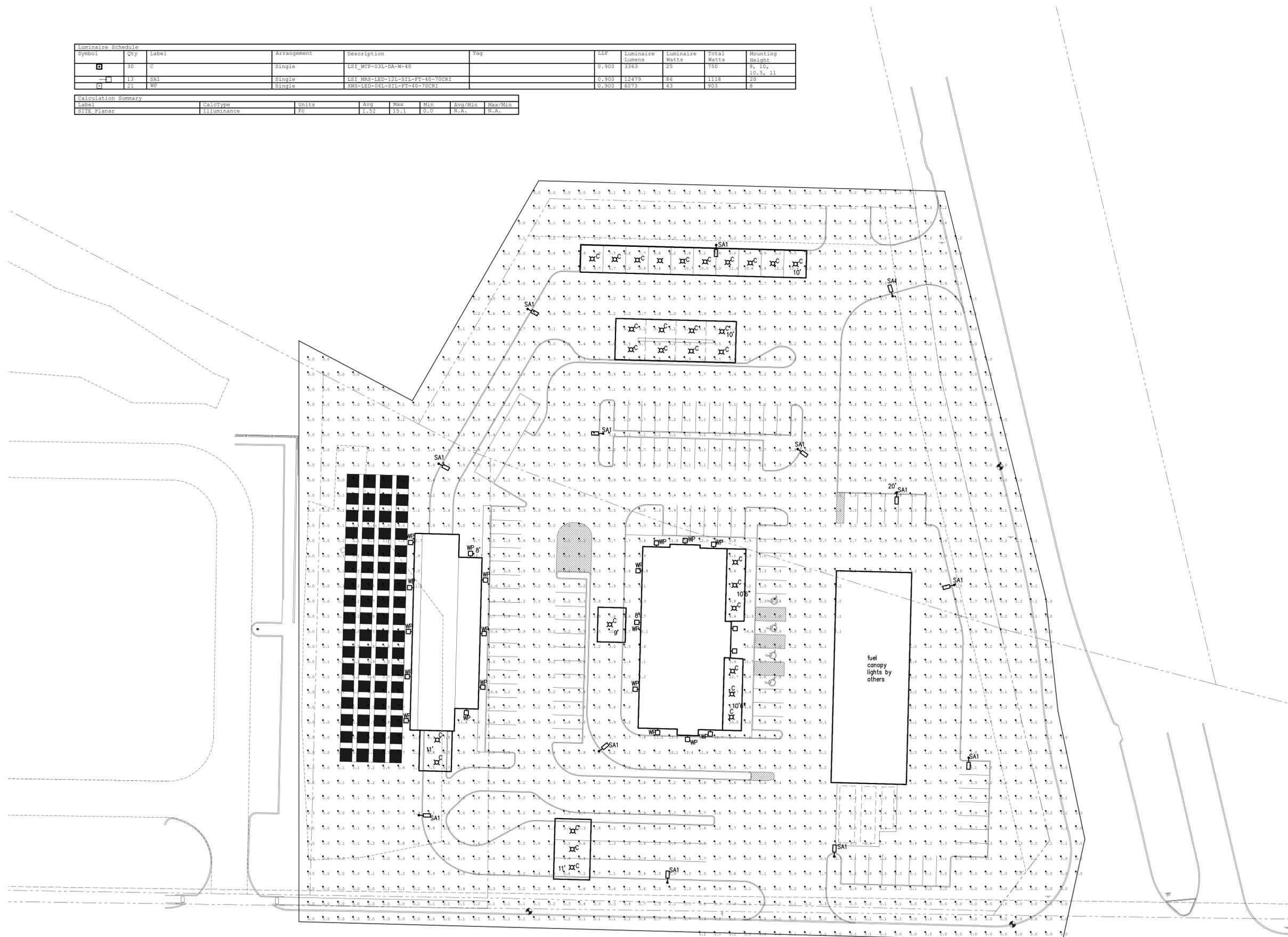
NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

NOTE: ANY REVISION TO THIS PLAN WILL REQUIRE CITY OF FRISCO APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.

PLANTING NOTES:

Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height
□	30	C	Single	LSI WCP-03L-DA-W-40		0.900	3363	25	750	9, 10, 10.5, 11
—□	13	SA1	Single	LSI MRS-LED-12L-SIL-PT-40-70CRI		0.900	12479	86	1118	20
□	21	NP	Single	XWS-LED-06L-SIL-PT-40-70CRI		0.900	6073	43	903	8

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE Planar	Illuminance	Fc	1.52	15.1	0.0	N.A.	N.A.



1 SITE PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"

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